

Planning Justification Report

273, 277, and 279 East Avenue North, Hamilton,
Ontario

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Prepared For:

Wayside House of Hamilton
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1.0 Introduction

Landwise was retained by Wayside House of Hamilton on April 19, 2023, to prepare a Planning Justification Report in support of a Zoning By-law Amendment application. This report includes an overview of the subject lands in context with surrounding land uses, a description of the proposed development and supporting studies, and a detailed analysis of the pertinent planning framework that provides the basis of a planning analysis and the proposed planning instruments.

First, we hold space and recognize the traditional territory of where the subject lands reside.

Land Acknowledgement

The City of Hamilton is situated upon the traditional territories of the Erie, Neutral, Huron-Wendat, Haudenosaunee and Mississauga's.

This land is covered by the Dish With One Spoon Wampum Belt Covenant, which was an agreement between the Haudenosaunee and Anishinabek to share and care for the resources around the Great Lakes. We further acknowledge that this land is covered by the Between the Lakes Purchase, 1792, between the Crown and the Mississauga's of the Credit First Nation.

Today, the City of Hamilton is home to many Indigenous people from across Turtle Island (North America) and we recognize that we must do more to learn about the rich history of this land so that we can better understand our roles as residents, neighbours, partners, and caretakers.

1.1 Summary of Wayside House of Hamilton's Operations

Established in 1967, Wayside House of Hamilton ("Wayside House") is a non-profit organization committed to substance use disorder and concurrent disorders residential treatment and supportive housing for men and transitional aged male youth. Wayside currently operates 25 beds for bedded treatment and 30 supportive housing beds within the City of Hamilton. Wayside House currently operates at 15 Charlton Street West with one (1) on-site parking space.

Wayside House's operations are partially funded by the Ontario Ministry of Health. Wayside House clients are from across Ontario and are clinically to determine readiness and appropriateness of care. This results in a community of people who are looking to take control over their own well-being and thus fit into a self-driven community within residential treatment. The program accepts people who are highly motivated for changes and work to address the social determinants of health to return to their respective communities and families. Wayside House clients are provided with post-care with access to Wayside House supports including staff and programming.

For a high level picture of a typical day at Wayside House, the facility has staff 24 hours a day, 7 days a week, all of whom do not live on-site. Approximately 20 professionals flow through a day including social workers and nursing staff. The support that is available at any given time is unique and may be provided in a group or on an individual basis, as the system is geared towards catering to the uniqueness of clients and supporting their recovery. Clients are provided with restricted in

and out privileges and are always signed in and out of the facility and are accompanied by staff. Additionally, all visitors are required to sign in and out upon entering and leaving the facility to ensure resident safety.

Wayside House and their community partners have recognized that there is a gap in the medical care system to support people with substance use disorder and concurrent disorders. Wayside House has a goal of establishing integrated and collaborative partnerships within the community to support clients through their supportive residential program.

1.2 Subject Lands Description

273, 277 and 279 East Avenue North (“subject lands”) are located on a local street within the Landsdale neighbourhood. The subject lands are in close proximity to Barton Street East including the Barton Business Improvement Area made up of a mix of uses as well as the Hamilton General Hospital (refer to Figure 1).

The subject lands have an approximate frontage of 24m on East Avenue North and an approximate area of 858m². The subject lands benefit from having frontage and access on a City assumed laneway located behind the existing building. The site is occupied by an existing 2-storey brick building previously used for non-residential uses, according to a Certificate of Zoning Verification and Property Report, dated October 12, 2022 (i.e. warehouse and ancillary/accessory administrative office). The building is currently vacant (refer to see Figure 2).

Figure 1: Location Map



SUBJECT LANDS
277 East Avenue North,
Hamilton, ON L8L 5J6

Figure 2: Aerial Map



SUBJECT LANDS
277 East Avenue North,
Hamilton, ON L8L 5J6



1.3 Community Context

The subject lands are located in the Landsdale neighbourhood of central Hamilton, on the west side of East Avenue North. The surrounding neighbourhood consists of commercial and mixed uses along Barton Street East, with some concentration of medical uses and clinics near Hamilton General Hospital which is situated on the west adjacent block from the subject lands, at Barton Street East and Victoria Avenue North. Residential uses are located internally to the neighbourhood, ranging from single detached to multiple dwellings. The following uses are immediately adjacent to the subject lands (refer to Figure 3):

Direction	Use
North	Low Density Residential
East	Low Density Residential
South	Mixed Use / Commercial Uses
West	Mixed Use / Commercial Uses

1.4 Transportation Network

The subject lands front onto East Avenue North, which is classified as a local road and connects to Barton Street East to the south, a main thoroughfare connecting lower Hamilton from east to west. The site abuts a concrete City laneway to the west, that runs north-south along the entirety of the block from Barton Street East to Birge Street. On street parking consists of metered parking, time-limited parking, and permit parking. The surrounding context, particularly along Barton Street East, is characterized by commercial uses that typically rely on the available on-street parking or municipal parking lots.

A railway (CN) is located approximately 230m north of the subject lands. Beyond the rail lines are industrial and land-extensive uses.

Barton Street East is serviced by the Hamilton Street Railway (“HSR”) bus route No. 02 (Barton), linking passengers from east Hamilton to downtown. Victoria Street North is a 3-minute walk from the subject lands, which is serviced by HSR bus route No. 12 (Wentworth), a weekday bus loop travelling along Victoria Avenue North/South, Burlington Road East, Wentworth Street North/South and Stinson Street. The subject lands are accessible to well-connected transit routes.

Victoria Road North/South contains dedicated 2-way separated and painted bicycle lanes from Main Street East to Burlington Street East. In summary, the subject lands have access to an established transit system and the City’s bicycle network.

Figure 3: Community Context Map



-  **SUBJECT LANDS**
277 East Avenue North,
Hamilton, ON L8L 5J6
-  Institutional
-  Commercial/Mixed Use

2.0 Proposed Development

Wayside House of Hamilton is looking to expand their operations by relocating their residential treatment from their current site at 15 Charlton Avenue West, Hamilton, to 273-279 East Avenue North. The proposed redevelopment is to readapt the existing 2-storey building with a basement level by retrofitting the interior for the supportive residential use. Two (2) additional storeys on the existing building are proposed, resulting in a 4-storey building height. A portion of the existing building at the rear is proposed to be demolished. The building exterior will be re-cladded and retrofitted with new doors and windows. The main pedestrian entrance is accessed from East Avenue North with a secondary access proposed at the rear of the building. Vehicular access to a small parking area is proposed from the City-assumed laneway abutting the west lot line, which runs uninterrupted from Barton Street East to Birge Street.

The proposed redevelopment includes a 62-bed program and 15 purpose-built rental dwelling units for men who have transitioned out of Wayside House's residential treatment program. However, the number of beds and inclusion of independent apartments is subject to change due to capital and operational funding. The following services and amenities are proposed within the building which are ancillary to the residential treatment program: intake area, exam rooms, staff offices, kitchen, dining room, meeting and educational spaces and indoor amenity gathering spaces (i.e. lounges, multi-purpose rooms). A rooftop amenity area is proposed including the potential for seating and urban gardening.

Four (4) parking spaces, including one (1) accessible parking space, are proposed at the building's rear, accessible via the City-assumed laneway from Barton Street East. New pedestrian pathways, including an accessible ramp, and landscape plantings are proposed along the front of the building.

Refer to **Appendix A** for the Concept Plan and **Appendix B** for the Building Elevation Drawings.

2.1 Planning Applications

The City of Hamilton Planning Staff issued a Formal Consultation Document on April 7, 2025, with comments from the City of Hamilton and various internal and external agencies and stakeholders. A Development Review Team meeting took place on April 5, 2024, with attendance from the applicant (Wayside House of Hamilton), Landwise, City of Hamilton Staff, and the Ward 3 Councillor, Nrinder Nann's office. The Formal Consultation Document confirmed that a Zoning By-law Amendment will be required to facilitate the proposed development and the studies and plans required as part of a complete Zoning By-law Amendment application (refer to Section 3.0).

A subsequent Site Plan Control may be required to facilitate the proposed development, which will be determined by the City at a later time.

The Formal Consultation Document confirms that the following reports and plans are required for a Complete, Zoning By-law Amendment application:

- Survey Plan;
- Concept Plan;
- Building Elevations;
- Planning Justification Report (*including an Energy and Environment Assessment; Draft Amending By-law; Public Consultation Summary and Comment Response, Operational Plan*);
- Summary Response to Formal Consultation Comments;
- Zoning Compliance Review;
- Preliminary Grading and Site Servicing Plan;
- Functional Servicing Report;
- Noise Impact Study (Noise Feasibility and/or Detailed Noise Study); and,
- Vehicle Maneuvering Plan.

2.2 Proposed Zoning By-law Amendment

The subject lands are zoned “Neighbourhood Commercial (C2) Zone” in the City of Hamilton Zoning By-law No. 05-200. Permitted uses in the Community Institutional Zone include range of commercial uses including but not limited to a social service establishment, medical clinic and Dwelling Unit, Mixed Use.

A Zoning By-law Amendment is required to rezone the subject lands to a site-specific Neighbourhood Commercial (C2, XXX) Zone, Modified, to add a “Residential Care Facility” as a permitted use with site-specific modifications to recognize the existing site conditions including existing building setbacks as well as permit an RCF in the same building as independent apartments. Refer to Draft Amending By-law (**Appendix C**) and Sections 4.4 and 5.4 of this report for further details.

3.0 Supporting Studies

The studies identified during the Formal Consultation process and as outlined in the Formal Consultation Document were completed as part of the Complete Application for a Zoning By-law Amendment. A copy of each report has been included within the submission package with the exception of the Energy and Environmental Assessment of which the study is incorporated into the Planning Justification Report. Other than the energy and environmental assessment, the following section provides a brief summary of the findings for each study.

3.1 Energy and Environmental Assessment

An Energy and Environmental Assessment has been prepared for Wayside House of Hamilton for 273-279 East Avenue North, Hamilton. This Assessment is prepared in support of the Zoning By-

law Amendment application and was identified as a requirement through the formal Consultation process. The purpose of this Energy and Environmental Assessment is to outline how the proposal incorporates environmental and sustainable design features and practices, such as energy efficiency through building and site design, active transportation, and water conservation (Subsection F.3.2.9 of the Urban Hamilton Official Plan). Other principles and policies identified in the Urban Hamilton Official Plan, Section B.3.7 and other applicable policies in Chapter E are also reviewed relating to the proposed development. In addition, the draft Hamilton Green Building Standards has also been considered for the proposed redevelopment. The following text has been categorized into broad categories based on the policies and guidelines.

Energy Efficiency

The proposed redevelopment involves refitting the existing building, largely maintaining the primary building footprint except for a limited demolition at the rear to refine the site layout. The proposal's main sustainability goals will be achieved through major upgrades to the building facade and internal systems. The introduction of high-performance cladding on the building's exterior and updated doors and windows will improve thermal performance and airtightness, minimizing energy loss. Additionally, internal renovations including mechanical system upgrades, including high-efficiency heating, cooling, ventilation, will contribute to reducing the building's energy consumption, lowering its carbon footprint and enhancing occupant comfort.

Environmental Sustainability

The proposal will provide gentle residential intensification and allow Wayside House of Hamilton to expand their services and operations, while minimizing environmental impacts through the re-use of existing building stock on urban lands. By using a vacant lot and revitalizing the subject lands with a new use, the proposal will make efficient use of the lands which are readily connected to municipal infrastructure and will not adversely impact any natural heritage features. The proposed redevelopment includes a potential greenhouse at the roof level, which will contribute to food security and increase greenspace.

Additionally, the subject lands have convenient access to public transit and are within in a highly walkable area to residents daily and weekly needs. The proposed on-site bicycle parking will encourage active transportation, thus reducing passenger vehicle use. Further consideration on the on-site landscaping features will be considered at the detailed design stage. Heat island effect is anticipated to be minimized since no additional paved surfaces are proposed, with minor improvements to the pedestrian pathways to enhance the relationship to the public realm and streetscape. Bird friendly design elements will be considered at the detailed design stage with considerations to meet the objectives of the Canadian Standard Association's (CSA) approved Bird Safe Building Design Standards for preventing bird collisions.

Water Conservation

The proposed interior renovations will include new water fixtures, effective at implementing efficient water usage and reducing consumption of potable water. Rainwater harvesting will be contemplated for the proposed greenhouse for irrigation purposes. Although no new grading or servicing is proposed, new eavestrough and downspouts installation will contribute to improved

stormwater control on the subject lands. Additional landscaping opportunities will be contemplated at the detailed design stage, which may contribute to improved stormwater drainage.

Waste Management and Materials

A key component of promoting sustainability through this project is the adaptive reuse of the existing building, which will reduce the amount of waste produced for the proposed development. By prioritizing building retention over complete demolition and new construction, the project avoids the significant volume of waste typically generated from both the demolition of a sound structure and the manufacturing and delivery of new building materials. This approach directly minimizes the project's burden on landfill capacities and reduces the associated environmental impacts of waste transportation.

During the construction phase of the project, a Construction & Demolition Waste Management Plan may be implemented. This plan will mandate the sorting, recycling, and diversion of all non-hazardous construction debris, such as concrete, metals, and wood from landfill disposal. This strategy demonstrates a responsible approach to waste reduction and resource conservation.

3.2 Functional Servicing Report

A Functional Servicing Report was prepared by LandSmith Engineering & Consulting Ltd., dated November 27, 2025. The report provides a review on the existing servicing, grading and stormwater management for the proposed redevelopment and an analysis of the servicing requirements to facilitate the development.

The proposed redevelopment will be supported by new and existing municipal services, all of which have been confirmed to have adequate capacity. A new 75mm water service will be installed connecting to East Avenue North to replace the existing 25mm lateral, providing sufficient capacity for both the peak domestic demand (5.57 L/s) and fire flow requirements (150 L/s). For sanitary servicing, the existing lateral will be reused, as it has been inspected and is in good condition. To ensure proper function, any downspouts or foundation drains currently connected to the sanitary system will be disconnected, and back-flow prevention devices will be installed for the basement units. The estimated peak sanitary flow of 1.95 L/s can be accommodated by the existing 300mm combined sewer on East Avenue North.

Regarding stormwater, the project will not increase the amount of hard, impervious surfaces on the site. As a result, the rate and volume of stormwater runoff will not change, and no new quantity control measures are required. Furthermore, because the project does not introduce new asphalt areas that would degrade runoff quality, no additional water quality treatment measures are necessary.

3.3 Noise Impact Study

A Noise Impact Study was prepared dBA Acoustical Consultants Inc. dated December 2025 to analyze surrounding noise sources including traffic noise, rail noise and stationary noise. The primary transportation noise sources at the subject lands were determined to be road traffic from Barton Street East and Victoria Avenue North. Impacts from the road noise will be mitigated via a warning clause, installation of air conditioning, a minimum of STC-30 windows and STC-32 exterior walls. Further, a minimum 0.91m safety guard along the perimeter of future rooftop amenity area is required. No impacts are anticipated from the rail line or surrounding stationary noise sources inclusive of rooftop heating and air conditioning units of surrounding commercial buildings fronting Barton Street East. Refer to the Noise Impact Study for additional information and detail.

3.4 Public Consultation Summary

A public consultation was conducted to gather input on the proposed redevelopment at 273-279 East Avenue North. This consisted of pre-submission public consultation meeting (Community Open House) held on September 16, 2025, with neighbours and representatives from Wayside House of Hamilton and Landwise. On August 28, 2025, meeting invitations were delivered to 662 addresses located within a 240m radius of the subject lands. Fifteen (15) people attended the meeting, in addition to Wayside House of Hamilton’s community partners. The Open House consisted of large-format information boards with details of the proposed development, a looped video showing Wayside House of Hamilton’s impact on individuals and the community. Wayside House of Hamilton and Landwise representatives were present to answer questions from attendees. If attendees wished to provide formal comments, a QR code linked to a Microsoft Form and comment sheets with Landwise’s contact information were provided at the sign-in desk. **Appendix D** includes the information letter, meeting invitation, mailing list, sign-in sheet, copies of the display boards. At the time of writing, no written correspondences from the public were received by either e-mail or through the Microsoft Form.

Table 1 summarizes the public comments received to date regarding the proposed development and provides responses to each.

Table 1: *Public comments and responses summary.*

OUTDOOR AMENITY AREA	
One neighbour located across the street was concerned about overlook from the proposed rooftop outdoor amenity area.	The rooftop outdoor amenity area will be designed to be set further back from the roof’s edge to minimize potential overlook from future tenant.

In addition to the concerns discussed above, many were supportive of the project overall. Refer to **Appendix D** for the public consultation strategy materials including a public consultation summary.

4.0 Planning Framework

This section reviews the planning documents applicable to the subject property and proposed boundary adjustment, which include the *Provincial Planning Statement, 2024*, the *Urban Hamilton Official Plan*, *Landsdale Neighbourhood Plan* and the *City of Hamilton Zoning By-law No. 05-200*.

4.1 Provincial Planning Statement, 2024

The *Provincial Planning Statement, 2024* (“PPS”), issued under the Planning Act, R.S.O. 1990, C.P.13 (“Planning Act”) came into force and effect on October 20th, 2024, as a policy-led regulating document that provides direction on provincial interest related to managing land use planning and development. The Planning Act requires that, “decisions affecting planning matters shall be consistent with” the PPS.

The subject lands are located within an existing “*Settlement Area*” known as the City of Hamilton. Applicable policies have been reviewed below.

2.1 Planning for People and Homes

6. Planning authorities should support the achievement of complete communities by:

- a) accommodating an appropriate range and mix of land uses, housing options, transportation options with multimodal access, employment, public service facilities and other institutional uses (including schools and associated childcare facilities, longterm care facilities, places of worship and cemeteries), recreation, parks and open space, and other uses to meet long-term needs;*
- b) improving accessibility for people of all ages and abilities by addressing land use barriers which restrict their full participation in society; and*
- c) improving social equity and overall quality of life for people of all ages, abilities, and incomes, including equity-deserving groups.*

Planning Comment

The proposed redevelopment will allow Wayside House of Hamilton with the opportunity to expand their supportive residential treatment and centralize operations. The proposed re-adaptive reuse will utilize existing building stock on urbanized lands and contribute towards the creation of a complete community in the Landsdale neighbourhood.

2.2 Housing

1. *Planning authorities shall provide for an appropriate range and mix of housing options and densities to meet projected needs of current and future residents of the regional market area by:*
 - a) *establishing and implementing minimum targets for the provision of housing that is affordable to low and moderate income households, and coordinating land use planning and planning for housing with Service Managers to address the full range of housing options including affordable housing needs;*
 - b) *permitting and facilitating:*
 1. *all housing options required to meet the social, health, economic and wellbeing requirements of current and future residents, including additional needs housing and needs arising from demographic changes and employment opportunities; and*
 2. *all types of residential intensification, including the development and redevelopment of underutilized commercial and institutional sites (e.g., shopping malls and plazas) for residential use, development and introduction of new housing options within previously developed areas, and redevelopment, which results in a net increase in residential units in accordance with policy 2.3.1.3;*
 - c) *promoting densities for new housing which efficiently use land, resources, infrastructure and public service facilities, and support the use of active transportation; and*
 - d) *requiring transit-supportive development and prioritizing intensification, including potential air rights development, in proximity to transit, including corridors and stations.*

Planning Comment

The proposed redevelopment introduces independent dwelling units within the renovated building on the fourth floor to provide a transitional housing option. The proposed development will contribute to a diverse mix of housing types within an established neighbourhood. The proposed building programming reflects the ongoing evolving needs of the community, which will have convenient access to existing infrastructure and public service facilities, while utilizing and adapting existing building stock on developed lands.

2.3.1 General Policies for Settlement Areas

1. *Settlement areas shall be the focus of growth and development. Within settlement areas, growth should be focused in, where applicable, strategic growth areas, including major transit station areas.*
2. *Land use patterns within settlement areas should be based on densities and a mix of land uses which:*
 - a) *efficiently use land and resources;*
 - b) *optimize existing and planned infrastructure and public service facilities;*
 - c) *support active transportation;*
 - d) *are transit-supportive, as appropriate; and*
 - e) *are freight-supportive.*
3. *Planning authorities shall support general intensification and redevelopment to support the achievement of complete communities, including by planning for a range and mix of housing options and prioritizing planning and investment in the necessary infrastructure and public service facilities.*

Planning Comment

The proposed development directs redevelopment to a designated settlement area within the urban boundary of Hamilton. The proposed change of use will adaptively reuse an existing building which will serve the larger Hamilton community. The relocation of an established organization will improve operation capacities, which will provide specialized supportive housing for a specific group within the population. The addition of rental units and the residential treatment facility optimize existing infrastructure and contributes to a mix of housing options. Overall, the proposed reuse of the existing building will contribute to the creation of a complete, well-connected community that provides a mix of supportive housing options.

2.9 Energy Conservation, Air Quality and Climate Change

1. *Planning authorities shall plan to reduce greenhouse gas emissions and prepare for the impacts of a changing climate through approaches that:*
 - a) *support the achievement of compact, transit-supportive, and complete communities;*
 - b) *incorporate climate change considerations in planning for and the development of infrastructure, including stormwater management systems, and public service facilities;*

- c) support energy conservation and efficiency;*
- d) promote green infrastructure, low impact development, and active transportation, protect the environment and improve air quality; and*
- e) take into consideration any additional approaches that help reduce greenhouse gas emissions and build community resilience to the impacts of a changing climate.*

Planning Comment

The proposed redevelopment contributes to a compact, complete, and transit-supportive community. The proposed residential treatment facility makes efficient use of land and existing infrastructure, while the pedestrian connections and proximity to transit routes supports active transportation. Re-using existing building stock minimizes environmental impacts and contributes towards a compact community.

3.6 Sewage, Water and Stormwater

1. Planning for sewage and water services shall:

- a) accommodate forecasted growth in a timely manner that promotes the efficient use and optimization of existing municipal sewage services and municipal water services and existing private communal sewage services and private communal water services;*
- b) ensure that these services are provided in a manner that:*
 - 1. can be sustained by the water resources upon which such services rely;*
 - 2. is feasible and financially viable over their life cycle;*
 - 3. protects human health and safety, and the natural environment, including the quality and quantity of water; and*
 - 4. aligns with comprehensive municipal planning for these services, where applicable.*
- c) promote water and energy conservation and efficiency;*
- d) integrate servicing and land use considerations at all stages of the planning process;*
- e) consider opportunities to allocate, and re-allocate if necessary, the unused system capacity of municipal water services and municipal sewage services to support efficient use of these services to meet current and projected needs for increased housing supply; and*

f) be in accordance with the servicing options outlined through policies 3.6.2, 3.6.3, 3.6.4 and 3.6.5.

8. Planning for stormwater management shall:

- a) be integrated with planning for sewage and water services and ensure that systems are optimized, retrofitted as appropriate, feasible and financially viable over their full life cycle;*
- b) minimize, or, where possible, prevent or reduce increases in stormwater volumes and contaminant loads;*
- c) minimize erosion and changes in water balance including through the use of green infrastructure;*
- d) mitigate risks to human health, safety, property and the environment;*
- e) maximize the extent and function of vegetative and pervious surfaces;*
- f) promote best practices, including stormwater attenuation and re-use, water conservation and efficiency, and low impact development; and*
- g) align with any comprehensive municipal plans for stormwater management that consider cumulative impacts of stormwater from development on a watershed scale.*

Planning Comment

The proposed development can be serviced by existing and upgraded municipal water and sewage infrastructure that has capacity for the proposed intensification of use, as confirmed by the Functional Servicing Report (LandSmith, 2025). Stormwater management will continue as existing, since the building will largely maintain the same footprint and the amount of impervious surface.

Overall Consistency with the Provincial Planning Statement, 2024

The proposal is consistent with the PPS, which focuses growth and intensification in Settlement Areas, promotes a mix of land uses and densities that efficiently use land, existing infrastructure and public services and facilities, while protecting natural and cultural heritage features.

4.2 Urban Hamilton Official Plan

The City of Hamilton's *Urban Hamilton Official Plan* was declared in force and effect on August 16, 2013, as a replacement to the seven local Official Plans representing the former municipalities. One of the objectives of the *Urban Hamilton Official Plan* is to manage community growth, land use changes and the physical development of the City of Hamilton over the next 30 years.

The *Urban Hamilton Official Plan* establishes an urban structure that directs community growth based on key elements of land use. The subject lands are within the "Neighbourhoods" element of the urban structure on Schedule E - Urban Structure (**Figure 4**). The subject lands are more specifically designated "Neighbourhoods" on Schedule E-1 - Urban Land Use (**Figure 5**).

B.2.4 Residential Intensification

B.2.4.1 General Residential Intensification Policies

B.2.4.1.1 Residential intensification shall be encouraged throughout the entire built-up area, shown on Appendix G in accordance with the policies of Chapter E - Urban Systems and Designations and Chapter F - Implementation. (OPA 167)

B.2.4.1.3 The residential intensification target of 80% or 88,280 housing units, specified in Policy A.2.3.3.4 shall generally be distributed through the built-up area as follows:

c) 30% of the residential intensification target is anticipated to occur within the Neighbourhoods as illustrated on Schedule E - Urban Structure. The City will review and update its Zoning By-law to facilitate the planned 27,000 housing units to be developed within the Neighbourhoods through intensification.

B.2.4.1.4 Residential intensification developments within the built-up area shall be evaluated based on the following criteria:

a) a balanced evaluation of the criteria in b) through l), as follows;

b) the relationship of the proposed development to existing neighbourhood character so that it builds upon desirable established patterns and built form;

c) the contribution of the proposed development to maintaining and achieving a range of dwelling types and tenures;

d) the compatible integration of the proposed development with the surrounding area in terms of use, scale, form and character. In this regard, the City encourages the use of innovative and creative urban design techniques;

e) the contribution of the proposed development to achieving the planned urban structure as described in Section E.2.0 - Urban Structure;

f) existing and planned water, wastewater and stormwater capacity;

g) the incorporation and utilization of green infrastructure and sustainable design elements in the proposed development;

h) the contribution of the proposed development to supporting and facilitating active transportation modes;

- i) the contribution of the development to be transit-supportive and supporting the use of existing and planned local and regional transit services;*
- j) the availability and location of existing and proposed public community facilities/services;*
- k) the ability of the development to retain and/or enhance the natural attributes of the site and surrounding community including, but not limited to native vegetation and trees; and,*
- l) compliance of the proposed development with all other applicable policies.*

B.2.4.2 Residential Intensification in the Neighbourhoods Designation

B.2.4.2.2 *When considering an application for a residential intensification development within the Neighbourhoods designation, the following matters shall be evaluated:*

- a) the matters listed in Policy B.2.4.1.4;*
- b) compatibility with adjacent land uses including matters such as shadowing, overlook, noise, lighting, traffic, and other nuisance effects;*
- c) the relationship of the proposed building(s) with the height, massing, and scale of nearby residential buildings;*
- d) the consideration of transitions in height and density to adjacent residential buildings;*
- e) the relationship of the proposed lot(s) with the lot pattern and configuration within the neighbourhood;*
- f) the provision of amenity space and the relationship to existing patterns of private and public amenity space;*
- g) the ability to respect and maintain or enhance the streetscape patterns including block lengths, setbacks and building separations;*
- h) the ability to complement the existing functions of the neighbourhood;*
- i) the conservation of cultural heritage resources; and,*
- j) infrastructure and transportation capacity and impacts.*

Planning Comment:

The proposed development will facilitate residential intensification within the built-up area and contribute to the City's intensification target within the Neighbourhoods designation. The proposal includes treatment beds, while the upper level is proposed as affordable rental units for individuals who have transitioned out of the supportive housing program, contributing towards the range of dwelling types and tenures. The proposed development meets the evaluation criteria for residential intensification development and will contribute to achieving the City's planned urban structure.

The subject lands have existing connections to municipal water and wastewater services with capacity for expansion to accommodate the proposed development, as demonstrated by the Functional Servicing Report (LandSmith, 2025).

B.3.2 Housing Policies

B.3.2.1 Urban Housing Goals

The following goals shall apply in the urban area:

B.3.2.1.1 Provide for a range of housing types, forms, and densities to meet the social, health and well-being requirements of all current and future residents.

B.3.2.1.2 Provide housing within complete communities.

B.3.2.1.3 Increase Hamilton's stock of affordable housing of all types, particularly in areas of the City with low levels of affordable housing.

B.3.2.1.4 Increase Hamilton's stock of housing for those whose needs are inadequately met by existing housing forms or tenure, affordability or support options.

B.3.2.1.5 Maintain a balance of primary rental and ownership housing stock as outlined in the Affordable Housing Strategy.

B.3.2.1.6 Increase the mix and range of housing types, forms, tenures, densities, affordability levels, and housing with supports throughout the urban area of the City.

B.3.2.4 General Policies for Urban Housing

B.3.2.4.1 The City shall plan for the full continuum of housing to ensure that an appropriate range and mix of housing forms, types, and densities to meet market-based and affordable housing needs of current and future residents through residential intensification, new development, and redevelopment is available. The full continuum of housing includes built form, tenure and affordability including single detached dwellings, semi-detached dwellings, duplexes, townhouses of various types (street, block, stacked), apartments and other forms of multiple dwellings, and lodging houses, built at a range of densities and ownership and rental tenures. (OPA 167)

B.3.2.4.2 The development of housing with a full range of tenure, affordability, and support services shall be provided for and promoted throughout the City in accordance with the City's Housing and Homelessness Action Plan, and the Housing Targets provided in Tables B.3.2.1 and B.3.2.2. Housing with a full range of tenure, affordability and support services in a full range of built housing forms means both ownership and primary rental housing with a full range of affordability, social housing, rent-geared-to-income housing, lodging houses, shared and/or congregate-living housing arrangements, housing with supports, emergency and transitional housing, and housing that meets all needs. (OPA 167)

B.3.2.4.7 The construction of new buildings and the retrofitting of the existing building stock shall be encouraged to utilize locally sourced materials and to incorporate water conservation and energy efficiency techniques, the expansion of district energy generation, and renewable energy systems, through the policies of the Plan and other strategies. (OPA 167)

B.3.2.4.8 Where there are documented unmet needs for housing tenure, affordability levels or support services, priority shall be given to development Applications that help meet those needs. (OPA 167)

Planning Comment:

The proposed redevelopment will contribute to a complete community and provision of a range housing forms and densities in an area of the City with access to commercial options, services, and open space. The proposed residential treatment and independent rental units, the proposed development will provide supportive housing and contribute to a range of tenures throughout the City. Modern building practices will promote efficiency and sustainability.

B.3.3 Cultural Heritage Resources Policies

B.3.3.2.1 The City of Hamilton shall, in partnership with others where appropriate:

- a) Protect and conserve the tangible cultural heritage resources of the City, including archaeological resources, built heritage resources, and cultural heritage landscapes for present and future generations.*

Planning Comment

The subject lands are adjacent to a Heritage Designated Property of significant heritage, located at 286 Victoria Avenue North. As the subject lands are developed and have separation via the public laneway, no adverse impacts to the Designated property are anticipated, and no archaeological potential is identified.

B.3.6 Health and Public Safety Policies

B.3.6.2 Air Quality and Climate Change

Several goals and policies of this Plan, both directly and indirectly contribute to the improvement of air quality and reduce greenhouse gases:

- a) promoting compact, mixed use urban communities;*
- b) integrating the transportation network to include all modes of transportation;*
- c) promoting active transportation, including walking and cycling, and the use of public transit; (OPA 167)*
- d) achieving a natural heritage ecosystem through the protection and enhancement of natural heritage features and functions;*
- e) implementing urban design features to reduce fugitive dust;*
- f) enhancing vegetative cover; and,*
- g) reducing the heat island effect through the use of reflective roofs, green roofs, natural landscaping, and increasing the tree canopy.*

B.3.6.3.1 Development of noise sensitive land uses, in the vicinity of provincial highways, parkways, minor or major arterial roads, collector roads, truck routes, railway lines, railway yards, airports, or other uses considered to be noise generators shall comply with all applicable provincial and municipal guidelines and standards.

B.3.6.5.8 Development and site alteration shall be prohibited in hazard lands.

Planning Comment:

The proposed redevelopment promotes a compact urban fabric and increases ridership on public transit, contributing to the improvement of air quality and reduction of greenhouse gases emissions. The proposed redevelopment incorporates climate change considerations by adaptive reuse of an existing building on previously developed lands. The proposed development will comply with provincial and municipal noise standards through noise mitigation measures such as installation of central air conditioning and including warning clauses in tenant agreements (dBA, 2025).

E.2.0 Urban Structure

E.2.7 Neighbourhoods

E.2.7.2 Neighbourhoods shall primarily consist of residential uses and complementary facilities and services intended to serve the residents. [...]

E.2.7.4 The Neighbourhoods element of the urban structure shall permit and provide the opportunity for a full range of housing forms, types and tenure, including affordable housing and housing with supports.

E.2.7.7 Neighbourhoods shall generally be regarded as physically stable areas with each neighbourhood having a unique scale and character. Changes compatible with the existing character or function of the neighbourhood shall be permitted. [...]

Planning Comment:

The proposed development will contribute to the provision of a range of supportive housing types and tenures through intensification. The proposal to add Residential Care Facility as a permitted use will result in improvements to the site and existing building and will maintain a similar character in the neighbourhood with a compatible residential use.

E.3.2 Neighbourhoods Designation - General Policies

E.3.2.1 Areas designated Neighbourhoods shall function as complete communities, including the full range of residential dwelling types and densities as well as supporting uses intended to serve the local residents.

E.3.2.3 The following uses shall be permitted on lands designated Neighbourhoods on Schedule E-1 - Urban Land Use Designations:

- a) residential dwellings, including second dwelling units and housing with supports;*
- b) open space and parks;*
- c) local community facilities/services; and,*
- d) local commercial uses.*

E.3.2.4 The existing character of established Neighbourhoods designated areas shall be maintained. Residential intensification within these areas shall enhance and be compatible with the scale and character of the existing residential neighbourhood in accordance with Section B.2.4 - Residential Intensification and other applicable policies of this Plan.

Scale and Design

E.3.2.14 New housing with supports shall be permitted within the Neighbourhoods designation in accordance with the locational and design criteria of the residential category to which the density and built form best complies.

E.3.2.15 The City shall encourage the adaptive reuse of the existing building stock for appropriate land uses. Rezoning applications for new uses shall be evaluated to ensure compatibility with surrounding land uses.

Planning Comment:

The proposal to transform the subject lands into a Residential Care Facility will allow Wayside House of Hamilton to provide a purposefully designed supportive housing community, contributing towards a complete community. The proposed residential treatment facility will support the ongoing evolution of neighbourhoods while respecting the character of the existing neighbourhood as it is re-using an existing building situated on urban lands.

The subject lands are strategically located near other institutional uses, mostly notably, the Hamilton General Hospital. By locating the residential treatment facility towards an arterial road, such as Barton Street East, the proposed redevelopment is situated adjacent to commercial uses, towards the exterior of the residential neighbourhood.

The proposed adaptive reuse of the existing building with a proposed addition will provide new supportive and transitional housing. The proposed form and scale is aligned with a medium density residential use. The proposed redevelopment is compatible with the character and uses of the neighbourhood and along the Barton Street corridor.

B.3.3. Residential Uses - General Policies

E.3.3.1 Lower density residential uses and building forms shall generally be located in the interiors of neighbourhood areas with higher density dwelling forms and supporting uses located on the periphery of neighbourhoods on or in close proximity to major or minor arterial roads.

E.3.3.2 Development or redevelopment adjacent to areas of lower density shall ensure the height, massing, and arrangement of buildings and structures are compatible with existing and future uses in the surrounding area.

Planning Comment

The proposed four-storey building is within one (1) lot of Barton St E (major arterial) to the north and Victoria Avenue North to the west. The proposed form is an appropriate transition of built form from the low density residential neighbourhood. The proposed redevelopment will provide a sensitive design to the existing neighbourhood character while also modernizing the subject lands and will transition towards future development along Barton St E and Victoria Ave N.

3.5 Medium Density Residential

E.3.5.1 Medium density residential areas are characterized by multiple dwelling forms on the periphery of neighbourhoods in proximity to major or minor arterial roads, or within the interior of neighbourhoods fronting on collector roads.

E.3.5.2 Uses permitted in medium density residential areas shall include all forms of multiple dwellings.

E.3.5.5 Medium density residential uses shall be located within safe and convenient walking distance of existing or planned community facilities, public transit, schools, active or passive recreational facilities, and local or District Commercial uses.

E.3.5.6 Medium density residential built forms may function as transitions between high and low profile residential uses.

E.3.5.8 For medium density residential uses, the maximum height shall be six storeys, but the height may be increased to 12 storeys without an amendment to this Plan, provided the Applicant demonstrates that: (OPA 167)...

E.3.5.9 Development within the medium density residential category shall be evaluated on the basis of the following criteria:

- a) Developments should have direct access to a collector or major or minor arterial road. If direct access to such a road is not possible, the development may gain access to the collector or major or minor arterial roads from a local road only if a small number of low density residential dwellings are located on that portion of the local road.*
- b) Development shall be integrated with other lands in the Neighbourhoods designation with respect to density, design, and physical and functional considerations.*
- c) Development shall be comprised of sites of suitable size and provide adequate landscaping, amenity features, on-site parking, and buffering if required. The height, massing, and arrangement of buildings and structures shall be compatible with existing and future uses in the surrounding area.*
- d) Access to the property shall be designed to minimize conflicts between traffic and pedestrians both on-site and on surrounding streets.*

[...]

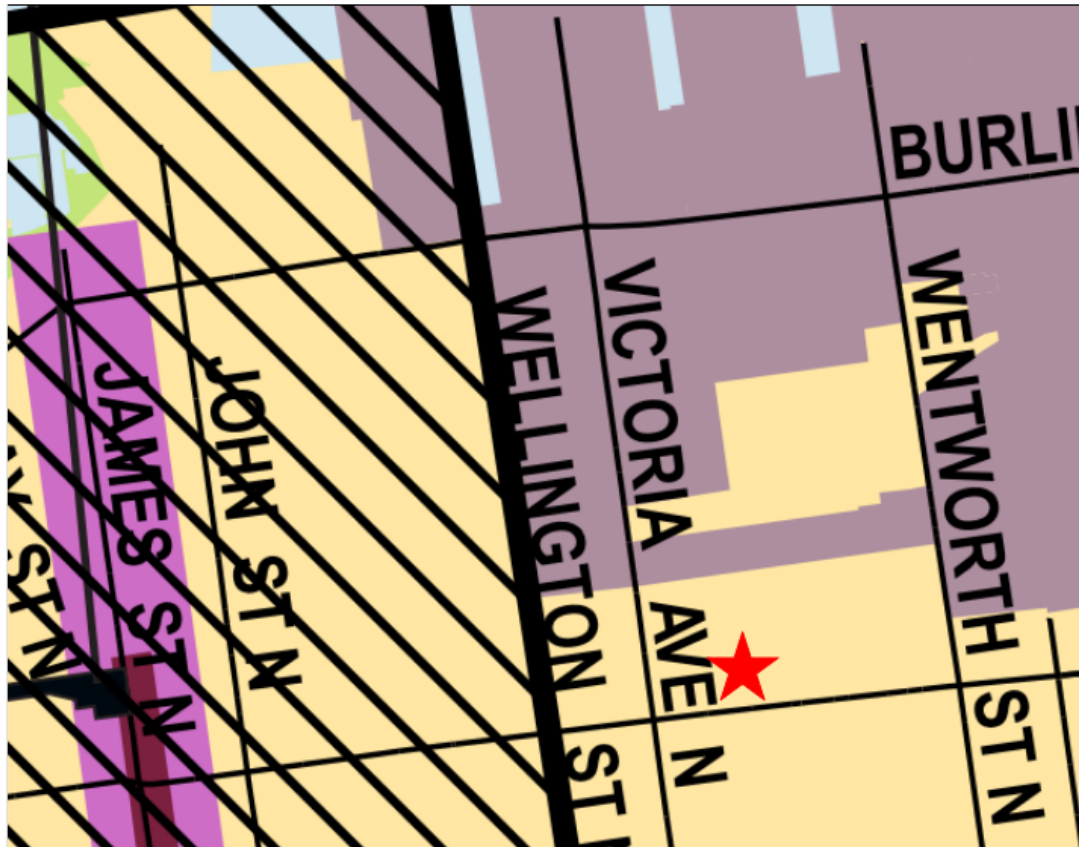
Planning Comment:

The subject lands have an in-effect zoning that permits a medium density form with a mixed use commercial zoning which permits a building up to 11.0 metres in height and a mix of commercial and residential uses. The proposed redevelopment is aligned with the form and land use permissions of the existing zone. The subject lands are located on a local street with access to a major arterial within 34 metres or one lot depth. The proposed 2-storey addition is sensitive to the surrounding land use context and provides a sensitive transition of form while maintaining the existing character of the property. The proposed redevelopment does not greatly increase the on-site landscape however, the proposed site and building design does improve the efficiency of the urban lands by providing limited on-site parking and proposing rooftop amenity area.

Overall Conformity to the Urban Hamilton Official Plan

The redevelopment conforms to the Neighbourhood designation and associated policies of the *Urban Hamilton Official Plan* by facilitating the addition of a new use in a manner that is compatible with the existing neighbourhood through thoughtful design and integration.

Figure 4: *Urban Hamilton Official Plan Schedule E - Urban Structure*



Excerpt from Urban Hamilton Official Plan, Volume 1
Schedule E - Urban Structure

LEGEND

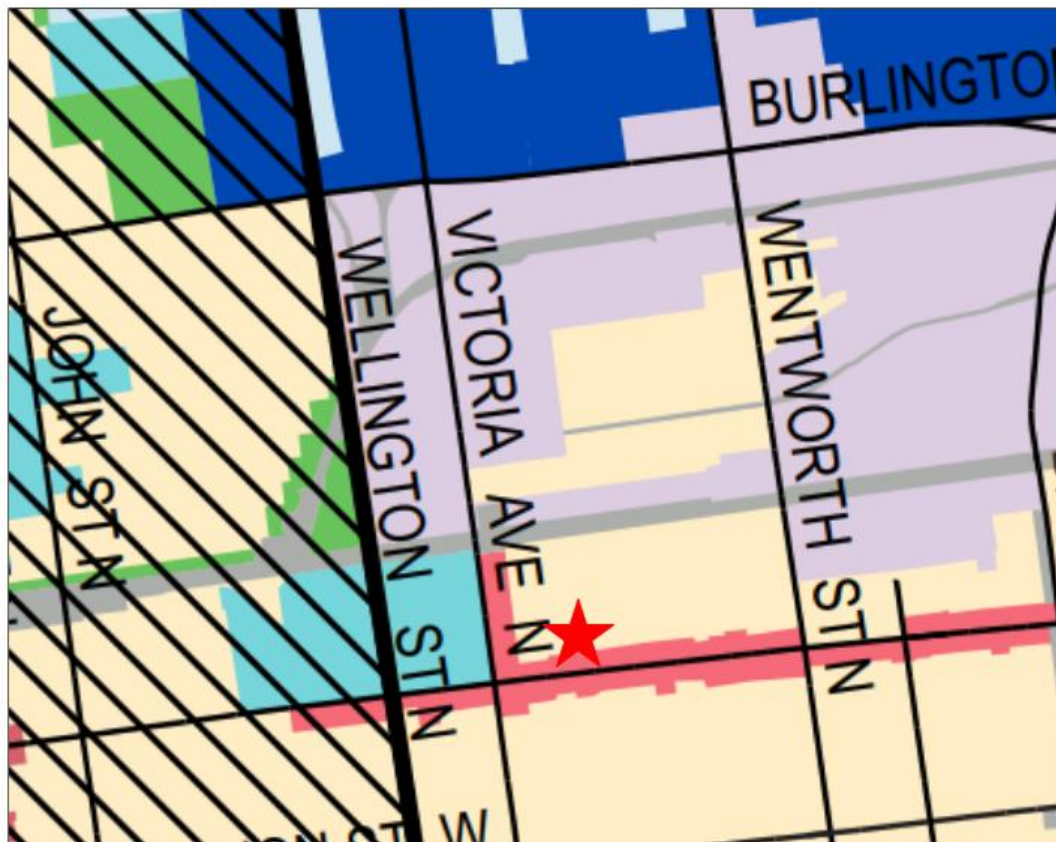


SUBJECT LANDS
277 East Avenue North,
Hamilton, ON L8L 5J6

Urban Structure Elements

- Neighbourhoods
- Employment Areas

Figure 5: Urban Hamilton Official Plan Schedule E-1 - Urban Land Use



Excerpt from Urban Hamilton Official Plan, Volume 1
 Schedule E-1 - Urban Land Use

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SUBJECT LANDS
 277 East Avenue North,
 Hamilton, ON L8L 5J6

	Neighbourhoods
	Institutional
	Open Space
	Mixed Use - Medium Density
	Utility
	Industrial Land

4.3 Landsdale Neighbourhood Plan

The *Landsdale Neighbourhood Plan* was adopted by Council on November 27, 1973. The *Landsdale Neighbourhood Plan* expands on the Official Plan in guiding growth and development of the Landsdale Neighbourhood. The subject lands are designated “Commercial” (Map 6608).

City of Hamilton Staff may be required to amend the Landsdale Neighbourhood Plan, as applicable.

4.4 City of Hamilton Zoning By-law No. 05-200

The *City of Hamilton Zoning By-law No. 05-200* came into effect on May 25, 2005, and is implemented in stages to replace zoning by-laws of its former communities. The *City of Hamilton Zoning By-law No. 05-200* zones the subject lands “Neighbourhood Commercial (C2) Zone” (refer to Figure 6).

The existing Neighbourhood Commercial (C2) Zone does not permit a Residential Care Facility (“RCF”) use, therefore a Zoning By-law Amendment is required to rezone the subject lands to a site-specific Neighbourhood Commercial (C2-XX) Zone to add an RCF, and other modifications such as permitting “dwelling units, mixed use” within a building with another residential use, the number of accessible parking space width, driveway access, and building height. Refer to section 5.4 of this report for additional information regarding the proposed site specific Neighbourhood Commercial (C2) Zone.

A Draft Amending By-law has been prepared and can be found in **Appendix C** to this report. Refer to the complete Zoning Compliance review submitted as part of the complete application for further review of the proposed zoning amendments. Table 2 outlines the Neighbourhood Commercial (C2) requirements in context to the proposed modifications.

Table 2: Neighbourhood Commercial (C2) Zoning Provisions

273, 277, 279 EAST AVENUE NORTH, HAMILTON			
PROPOSED NEIGHBOURHOOD COMMERCIAL “C2” ZONE, MODIFIED - CITY OF HAMILTON ZONING BY-LAW NO. 05-200			
PROVISION	REQUIRED	PROPOSED	CONFORMITY
Permitted Uses 10.2.1	Artist Studio	Residential Care Facility	No
	Catering Service	Dwelling Unit, Mixed Use	Yes
	Commercial School		
	Craftsperson Shop		
	Day Nursery		
	Dwelling Unit, Mixed Use		
	Emergency Shelter		
	Financial Establishment		
	Medical Clinic		
	Motor Vehicle Service Station		
	Office		

	Personal Services Repair Services Restaurant Retail Social Services Establishment Veterinary Service		
Restricted Uses 10.2.1.1	i) Emergency Shelter 1. Maximum Capacity for Emergency Shelter shall be 6 residents. 2. Except as provided for in Section 3. herein, every Emergency Shelter shall be situated on a lot having a minimum radial separation distance of 300 metres from any lot line of such lot measured to the lot line of any other lot occupied by an Emergency Shelter ii) Restriction of Residential Uses within a Building 1. Notwithstanding Section 10.2.1, a Dwelling Unit(s), Mixed Use shall only be permitted above the ground floor except for access, accessory office and utility areas, and shall not occupy more than 50% of the total gross floor area of all the building(s) within the lot.	N/A	N/A
Min. Street Line Setback 10.2.3 a.i	1.5m	1.50m (Existing)	Yes
Max. Street Line Setback 10.2.3 a.ii	3.0m	3.13m (Existing)	Deemed to comply under the Vacuum Clause (Section 4.12 f) i))

Min. Rear Yard 10.2.3 b.i, ii	6.0m and, 7.5m abutting residential/institutional zone or residential use	6.57m Abutting C5a Zone	Yes
Min. Interior Side Yard 10.2.3 c.i	3.0m abutting residential/institutional zone or residential use	North Lot Line: 1.27m (abutting R1a Zone) (Existing)	Deemed to comply under the Vacuum Clause (Section 4.12 f) i))
Min. Interior Side Yard 10.2.3 c. ii	1.5m	South Lot Line: 0.0m (Existing)	Deemed to comply under the Vacuum Clause (Section 4.12 f) i))
Max. Height 10.2.3 d	11.0m	12.12m	No
Rooftop Amenity Area	No Provisions	Rooftop Amenity Area proposed as greenhouse and access stairway	No
Max. Lot Area 10.2.3 e	5,000.0m ²	871.61 m ²	Yes
Max. Gross Floor Area for an Individual Office 10.2.3 f	500.0m ²	N/A	N/A
Planting Strip Requirements 10.2.3 j	Min. 1.5m wide Planting Strip abutting residential/institutional zone, not a Laneway	None proposed (North property line abuts R1a Zone)	No
REGULATIONS FOR PARKING			
Min. Parking Space Dimensions 5.2.1 a	2.8m in width 5.8m in length	2.8m in width 5.8m in length	Yes
Min. Accessible Parking Space Dimensions 5.2.2 a	3.4m in width 5.8m in length	2.8 in width 5.8m in length	No Yes
Min. Accessible Aisle Width 5.2.2 c. i	1.5m	1.5m	Yes

Min. Drive Aisle 5.2.3 a	Parking Angle Degree	One-Way and Two-Way Aisle Width	Parking Angle Degree	One-Way and Two-Way Aisle Width	No
	0°	3.7 m	60°	No driveway aisle proposed	
	15°	3.7 m			
	30°	3.7 m			
	45°	4.5 m			
	60°	5.5 m			
	75°	6.0 m			
	90°	6.0 m			
Min. Access Driveway Width 5.2.4 b	2.7 m		No Access Driveway proposed.		No
Min. Accessible Parking Spaces 5.7.3 c	Required for lot containing ≤5 parking spaces. 0 spaces are required.		Less than 5 parking spaces are provided. 1 accessible parking space proposed		Yes
Min. Parking Requirement for <u>Dwelling Unit</u> (PRA 1) 5.7.1.a	(Excludes the existing gross floor area for any existing building) No parking spaces are required for residents, 2 visitor parking spaces, plus 0.05 visitor parking spaces per unit. 15 units * 0.05 = 0.75 2.75 visitors required		4		Yes
Min. Parking Requirement for Residential Care Facility (PRA 1) 5.7.1.a	(Excludes the existing gross floor area for any existing building) No parking spaces are required		4		Yes
Min. Bicycle Parking Spaces - Residential Care Facility 5.7.5	N/A for long-term and short-term		0 spaces		Yes
Min. Bicycle Parking Spaces - Dwelling Unit -	0.1 per unit		2 spaces		Yes

Short -term (PRA 1) 5.7.5	0.1*15 units= 1.5; rounded to 1 short-term bicycle parking spaces		
Min. Bicycle Parking Spaces - Dwelling Unit - Long-term (PRA 1) 5.7.5	0.7 per unit 0.7*15 units= 10.5; rounded to 10 long-term bicycle parking spaces	10 spaces	Yes
DEFINITIONS			
Residential Care Facility Section 3	Shall mean a group living arrangement within a fully detached residential building for supervised residents where supports and/or services are provided on site, and may: a) House residents referred to the facility by a hospital, court, or government agency; and, b) Be a facility licensed, funded, and approved by a contract or agreement with the Federal, Provincial or Municipal Governments. A residential care facility shall not include an emergency shelter, lodging house, corrections residence, or correctional facility.	Shall mean a group living arrangement within a building for supervised residents where support and/or services are provided on site, and may: a) House residents referred to the facility by a hospital, court, or government agency; and, b) Be a facility licensed, funded, and approved by a contract or agreement with the Federal, Provincial or Municipal Governments. A residential care facility shall not include an emergency shelter, lodging house, corrections residence, or correctional facility.	No
Dwelling Unit, Mixed Use Section 3	Shall mean a room or suite of rooms used or intended to be used by one or more persons living together as one household, in which cooking and sanitary facilities are provided for the exclusive use of the household, and to which an independent entrance is provided from outside the building or from a common	Shall mean a room or suite of rooms used or intended to be used by one or more persons living together as one household, in which cooking and sanitary facilities are provided for the exclusive use of the household, and to which an independent entrance is provided from outside the building or from a common	

	interior hallway, vestibule, or stairway and shall be located in the same building as a non-residential use permitted in the zone.	interior hallway, vestibule, or stairway and shall be located in the same building as a non-residential use or Residential Care Facility permitted in the zone.	
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Refer to Section 5.4 for discussion of the proposed site-specific provisions.

Figure 6: Existing Zoning of subject lands.



City of Hamilton By-law No. 05-2000
 Excerpt from City of Hamilton Online Interactive Mapping

LEGEND



SUBJECT LANDS
 277 East Avenue North,
 Hamilton, ON L8L 5J6



Neighbourhood
 Commercial



Parking



Major
 Institutional



Mixed Use
 Medium Density



Low Density
 Residential - Small Lot



Urban Protected
 Residential



Light
 Industrial

5.0 Planning Analysis

The Planning Analysis is presented in four sections. The first part of the discussion will summarize the technical findings of the Supporting Studies (Section 5.1), and conformity with Provincial interest and policies (Section 5.2). The latter part of this Analysis will provide a scoped planning discussion of general conformity with the Urban Hamilton Official Plan and its respective policies (Section 5.3), and support of the proposed Zoning By-law Amendment (Section 5.4).

5.1 Supporting Studies

As outlined in Section 3, the subject lands and proposed development have been comprehensively studied to ensure that all technical design and environmental requirements have been met to Provincial and City policies and standards. Feedback from public consultation has also been incorporated into the final design. The results of the studies support the approval of the proposed Zoning By-law Amendment.

5.2 Provincial Interests

The Planning Act requires that, “decisions affecting planning matters shall be consistent with” the *Provincial Planning Statement, 2024*. The subject lands are located within an existing “Settlement Area” known as the City of Hamilton. The proposed redevelopment of the existing building will revitalize the use of the subject lands as a residential treatment facility, providing abstinence-based services to adult men within the community. The proposed land use intensification will contribute towards efficient use of urban lands and continue to provide a logical development pattern. The proposed land use will contribute to the overall viability of the settlement area by providing additional units serviced by existing infrastructure, with no adverse impacts to significant cultural or natural heritage resources. The proposed Zoning By-law Amendment is consistent with the *Provincial Planning Statement, 2024*.

5.3 Urban Hamilton Official Plan

The *Urban Hamilton Official Plan* designates subject lands “Neighbourhoods” (Schedule E-1). The subject lands are located along a Local road, East Avenue North, which connects to a Minor Arterial road, Barton Street East (Schedule C). Barton Street East is approximately 35 metres from the subject lands. Situated in proximity to the Barton Business Improvement Area and the Hamilton General Hospital, the subject lands are clustered with existing community services and facilities, including multiple healthcare facilities and commercial uses. The subject lands have historically functioned as a warehouse with office ancillary uses, located along the neighbourhood periphery.

The *Urban Hamilton Official Plan* encourages compatible land use intensification within neighbourhoods. The proposed development to add a residential care facility into the neighbourhood will provide supportive, transitional housing which will contribute to the mix of supportive housing options to meet the social, health and well-being requirements of folks and will explicitly address the needs of those who are inadequately met by existing housing forms and

support options (B.3.2.1). The proposal to relocate and expand the operations of Wayside House is aligned with the City's Housing and Homelessness Action Plan (B.3.2.4.2).

The subject lands' front onto a local road and is within one (1) lot north of Barton Street East, a minor arterial road (E.3.5.9.a). The existing neighbourhood context is generally stable with low density dwellings interior to the neighbourhood and major arterial roads at the periphery with existing and planned mix of residential and non-residential uses. The proposed residential care facility with dwelling units will provide transitional housing within proximity to supporting land uses such as community facilities including the General Hospital and commercial uses (E.3.5.5.). The proposed facility under the ownership and operation of Wayside House will establish stronger partnerships between public and private health and social service organizations within Hamilton.

The existing building footprint and form lends itself to being converted to a multi-residential use. The proposed redevelopment will retrofit existing building stock to support a lower impact development and support the City's climate action goals (B.3.2.4.7). The existing building makes up part of the character of the neighbourhood and the proposed conversion to a residential use will benefit the subject lands by providing a more compatible neighbourhood use than the previous industrial uses that operated on the subject lands (B.3.5.9.b, E.3.2.15).

The proposed two storey addition for a maximum height of four storeys or 12.5 metres maintains a low-rise to mid-rise form (E.3.5.9.b). The proposed intensification and scale of the building is appropriate for the area. The proposed building will have a maximum height of four (4) storeys or 12.5 metres with minimal change to the existing building footprint. The existing neighbourhood has a permitted height of 10.5 metres and residential care facilities are permitted residential land use. Barton Street East and Victoria Avenue North have a permitted height of 22.0 metres (i.e. 6 storeys). The proposed retrofit of the existing building for a residential care facility will provide an appropriate transition of built form with compatible land use between the low-density residential neighbourhood towards Barton Street East and Victoria Avenue North which are planned for mixed-use intensification (E.3.2.4, E.3.5.6). The existing C2 Zone permits a maximum height of 11.0 metres (i.e. 3-4 storeys). Therefore, the proposed site-specific increase of height to 12.5 metres for a maximum height of four storeys is aligned with the intent of the UHOP and zoning by-law.

The proposed redevelopment to add the permission of a residential care facility with independent dwelling units on the subject lands within a four storey building on the subject lands maintains the intent of the *Urban Hamilton Official Plan*.

5.4 Zoning By-law No. 05-200

To facilitate the proposed development, a Zoning By-law Amendment is required to the City of Hamilton Zoning By-law No. 05-200. As discussed in Section 4.4 to this report, the subject lands will be rezoned from the "Neighbourhood Commercial (C2) Zone" to a site-specific "Neighbourhood Commercial (C2, XXX) Zone", with zoning modifications to add a residential care facility as a permitted use, permit a "dwelling unit, mixed use" use within the same building as

another residential use, modify parking provisions, add rooftop amenity area, and recognize existing site conditions to facilitate the adaptive re-use of the existing building.

The Explanatory Note in the C2 Zone regulations states that this zone *“permits commercial uses intended to service residents within the surrounding neighbourhood, as well as residential uses. This Zone is found primarily along collector or arterial roads, with the built form ranging from small scale one-storey commercial plazas to the clustering of commercial buildings under 2,000 square metres built close to the street. The scale, height, and bulk, are compatible with the surrounding residential neighbourhood”*.

The following modifications are required to Zoning By-law No. 05-200 to facilitate the proposed supportive housing redevelopment on the subject lands:

Site-Specific Zone - Schedule “C” Special Exceptions

Permitted Use - 10.2.1

Wayside House of Hamilton (“Wayside House”) operates under regulatory oversight of the Ontario Ministry of Health (MOH). Under the MOH, Wayside House is defined as a “Community Residential Addiction - Treatment Services-Substance Abuse”.

For the purposes of the City of Hamilton land use planning, this operation is defined as a “Residential Care Facility” in accordance with the definitions of the City of Hamilton Zoning By-law No. 05-200. The proposed addition of a Residential Care Facility use as a permitted use under a new, site-specific C2 Zone will allow Wayside House of Hamilton to relocate and expand their services within the existing building on the subject lands.

The proposal conforms with the *Urban Hamilton Official Plan*, which encourages a mix of residential uses, including supportive and transitional housing within the Neighbourhoods designation to support livable and complete communities. A residential care facility is a permitted use across the City’s neighbourhoods, including the adjacent “Low Density Residential - Small Lot (R1a) Zone” that makes up most of the Landsdale neighbourhood. The proposed addition of a Residential Care Facility is appropriate for the subject lands, given its transitional location within the neighbourhood towards Barton St E.

Residential Care Facility Definition - Section 3

A modification to the Residential Care Facility definition is required to permit the supportive housing use within a mixed-use building, rather than as an exclusively stand-alone use. This will allow flexibility and enhanced coordination of housing transitions to include dwelling units contained within a separate storey of the building. The proposed modification to the definition is aligned with the intent of the C2 Zone to permit a mix of uses within a building.

The proposed dwelling units within the building will provide housing for folks who have transitioned out of Wayside House’s residential treatment program. The dwelling units will provide a safe, stable and supportive housing option. Aligned with the C2 Zone, the proposed dwelling units will not occupy more than 50% of the building’s gross floor area.

Dwelling Unit, Mixed Use Definition - Section 3

A site-specific modification is necessary to permit Dwelling Unit, Mixed Use within the same building as a Residential Care Facility. Currently, the definition of Dwelling Unit, Mixed Use only allows these units within buildings containing a non-residential use, while a Residential Care Facility is classified as a residential use.

This modification will allow for the integration of supportive housing options and promote the continuum of care, providing a coordinated and client-centered support system managed within a single environment. This approach enables consistent and appropriate supports which can evolve with clients' needs, while promoting greater housing stability, reducing unnecessary hospital visits, and fostering greater independence back into the community.

The building's internal design places the Dwelling Units on a separate level from the primary Residential Care Facility spaces. This ensures privacy for residents while allowing for these individuals to have controlled access to the supports provided by Wayside House.

Additionally, the distinction between the Dwelling Units and Residential Care Facility beds is anticipated to be important from an operational funding perspective, since the funding for rental apartments is often separate from operating funds related to the RCF beds. The proposed modification will allow for an integrated and supportive housing model.

Maximum Building Height - 10.2.3 d

The permitted maximum building height within the C2 Zone is 11.0m. A maximum building height of 12.5m is proposed to accommodate two (2) additional storeys on top of the existing two-storey building. The existing building is characterized with a flat roof, which the proposed design will repeat. The proposed height of four (4) storeys (i.e. 12.5m) is not anticipated to cause shadowing or privacy issues to neighbouring properties. Rooftop amenity is proposed and will be located on the south side of the roof, away from the low density residential to the north to mitigate overlook concerns. The proposed increase of permitted height by 1.5 metres will maintain the intent of low- to medium- profile built form that is reflective in the surrounding area, and thus appropriate for the redevelopment of the subject lands.

The proposed site specific C2 Zone recognizes that the preliminary design includes rooftop amenity area as the existing lot constraints restrict outdoor amenity at-grade. As such, the proposed site specific C2 Zone adds building height regulations which are aligned with other commercial and residential zones within Zoning By-law No. 05-200 to guide the permitted height of structures related to the rooftop amenity area. However, a minor modification is proposed to the permitted height of an enclosed structure related to the amenity area from 3.0 metres to 4.0 metres. The proposed 1.0 metre increase of height is to facilitate a rooftop greenhouse which includes a pitched roofline. The proposed greenhouse will support on-site food security and programming related to the residential care facility. The proposed

structure is located on the south side of the roof towards Barton St E to limit overlook into the neighbourhood.

Rooftop Amenity Area

The proposed modification is to permit the total floor area of a wholly enclosed or partially enclosed structure of the amenity area, including portions designed to provide access, to not exceed 20% of the floor area of the storey directly beneath, whereas 10% is currently permitted. The proposed development includes a rooftop amenity area that consists of a patio seating area, two (2) rooftop accesses stairways (one for primary access to the mechanical penthouse and a secondary stairway to meet Ontario Building Code requirements), a greenhouse, and elevator vestibule. The enclosed amenity areas, including the two (2) rooftop access, total 99.88m², comprising of 16% of the total area of the storey directly beneath (638m²), exceeding the permitted 10%. The greenhouse is intended to offer clients and residents a space to grow food, and therefore supporting food security and improving access to fresh produce.

Planting Strip Requirements - 10.2.3 j

A minimum planting strip of 1.5 m is required abutting a residential or institutional zone. The existing site condition does not provide a planting strip between the existing building and the adjacent dwelling to the north. To recognize the existing site conditions and maximize the amount of parking on-site, no planting strip is proposed where the parking spaces are located. The existing chain link fencing along the north property line is proposed to be maintained, to continue the clear physical separation between the proposed surface parking area and the abutting residential use. The existing condition that is proposed to continue is typical of the highly urbanized neighbourhood.

Minimum Accessible Space Width - 5.2.2 a

The Zoning By-law recognizes two (2) accessible space widths, 3.4 metres wide and 2.4 metres wide. Both accessible space types require a 1.5 metre wide aisle. A maximum of 50% of on-site accessible spaces are permitted to be 2.4 metres wide. However, the proposed redevelopment requires a minimum of one (1) accessible space at 3.4 metres. Due to the site's constraints, including maintaining the building footprint, there is an insufficient amount of width to accommodate all four (4) required parking spaces, including the 3.4 metre wide accessible space. However, the proposed accessible space width of 2.8m aligns with the Zoning By-law's typical parking space width, is wider than the permitted 2.4 metre wide accessible space and a 1.5 metre aisle will be provided. As such, the proposed modification maintains the intent of the By-law to provide a dedicated and safe accessible parking space on-site.

Minimum Drive Aisle Width- 5.2.3 a

A minimum drive aisle width of 5.5m is required for parking spaces angled at 60°, whereas no access driveway is proposed due to the lot constraints and the intent to retain the primary

existing building footprint, limiting the placement of the required drive aisle. However, the subject lands abut a publicly owned and maintained laneway to the west which permits vehicular access from Barton Street East or Birge Street, permitting access to where the proposed parking spaces are located. The existing laneway provides a safe maneuvering option within the highly urbanized area.

Overall, the existing C2 Zone provides an appropriate and flexible range of permitted uses that are well-suited for the property's existing built form and its context as a transitional property between the neighbourhood and the Barton Street East corridor. The existing C2 Zone permits a variety of uses, including but not limited to dwelling units within a mixed-use building (up to a maximum 50% of gross floor area), emergency shelter, medical clinic, office, personal service, restaurant, retail, and social services, all within a maximum building height of 11.0m, or approximately three to four storeys. This flexibility supports the long-term vitality of urban areas by allowing sites to adapt and evolve over time.

The surrounding context includes low-density residential neighbourhoods (R1a Zone), which permit Residential Care Facilities up to 10.5m in height, and the C5a Zone along Barton Street East, which permits building heights up to 22.0m with appropriate transitional design. The proposed added use of a Residential Care Facility is primarily a residential use that will provide transitional and supportive housing, along with ancillary clinical and counselling spaces, a function that aligns with the mixed-use character of the existing C2 permissions.

The proposed Zoning By-law Amendment seeks minor modifications to the existing C2 Zone. These include but are not limited to recognizing the existing setbacks of the existing building to be retained, adding Residential Care Facility as a permitted use within a mixed-use building, permitted Dwelling Units, Mixed Use within a residential building and introducing a modest height increase to 12.5m (four storeys).

The proposed site-specific C2 Zone conforms with the Neighbourhoods policies of the *Urban Hamilton Official Plan*. It remains consistent with the intent of the existing C2 Zoning while ensuring continued compatibility with adjacent land uses. The proposed zoning modification will maintain the property's value and long-term viability by maintaining its adaptive potential.

6.0 Implementation

This proposal is to be implemented through a Zoning By-law Amendment. A Draft Zoning By-law has been prepared and can be found as **Appendix C** to this report.

7.0 Conclusions

The intent of the proposed Zoning By-law Amendment is to add a Residential Care Facility use to the current C2 Zone to allow Wayside House of Hamilton to relocate their existing residential treatment facility to the subject lands. The proposed Neighbourhood Commercial (C2-XX) Zone, Modified, in the City of Hamilton Zoning By-law No. 05-200 is appropriate for the subject lands. The proposed changes are consistent with and conform to the applicable policy framework as outlined below:

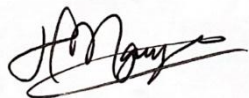
- The proposal is consistent with the *Provincial Planning Statement, 2024* by facilitating the reuse of existing building stock on existing urban lands that will contribute towards a complete community and can be supported by existing municipal services and infrastructure.
- The proposal conforms to the intent of the *Urban Hamilton Official Plan* objectives and policies to provide supportive housing in a strategic area of the City with access to community facilities and other supporting land uses with a built form that is sympathetic to the existing neighbourhood character.
- The proposal is aligned with the intent of the existing “Neighbourhood Commercial (C2) Zone” to provide supportive housing with associated uses and dwelling units as a transitional use and form between the low-density neighbourhood and Barton Street East.

In summary, the proposed redevelopment and associated amendments to the *Landsdale Neighbourhood Plan* and City of Hamilton Zoning By-law No. 05-200 are appropriate, desirable, and reflect good land use planning for the subject lands.

Respectfully Submitted,

LANDWISE

Prepared By:



Hy Nguyen, CPT
Planning Technician

Reviewed By:



Katelyn Gillis, BA
Senior Planner



Terri Johns, MCIP, RPP
Founder / Principal Planner

Appendix A:

Conceptual Site Plan

LOT AREA	871.61m ²
LANDSCAPE AREA (EXISTING)	88.64m ²
LANDSCAPE AREA (PROPOSED)	73.84m ²
BUILDING GROUND FLOOR AREA	659m ²
BUILDING GROSS FLOOR AREA	3,143m ²
BUILDING HEIGHT	12.12m
PARKING SPACES	4

RESIDENTIAL CARE FACILITY
PERSONS ACCOMMODATED 62 BEDS

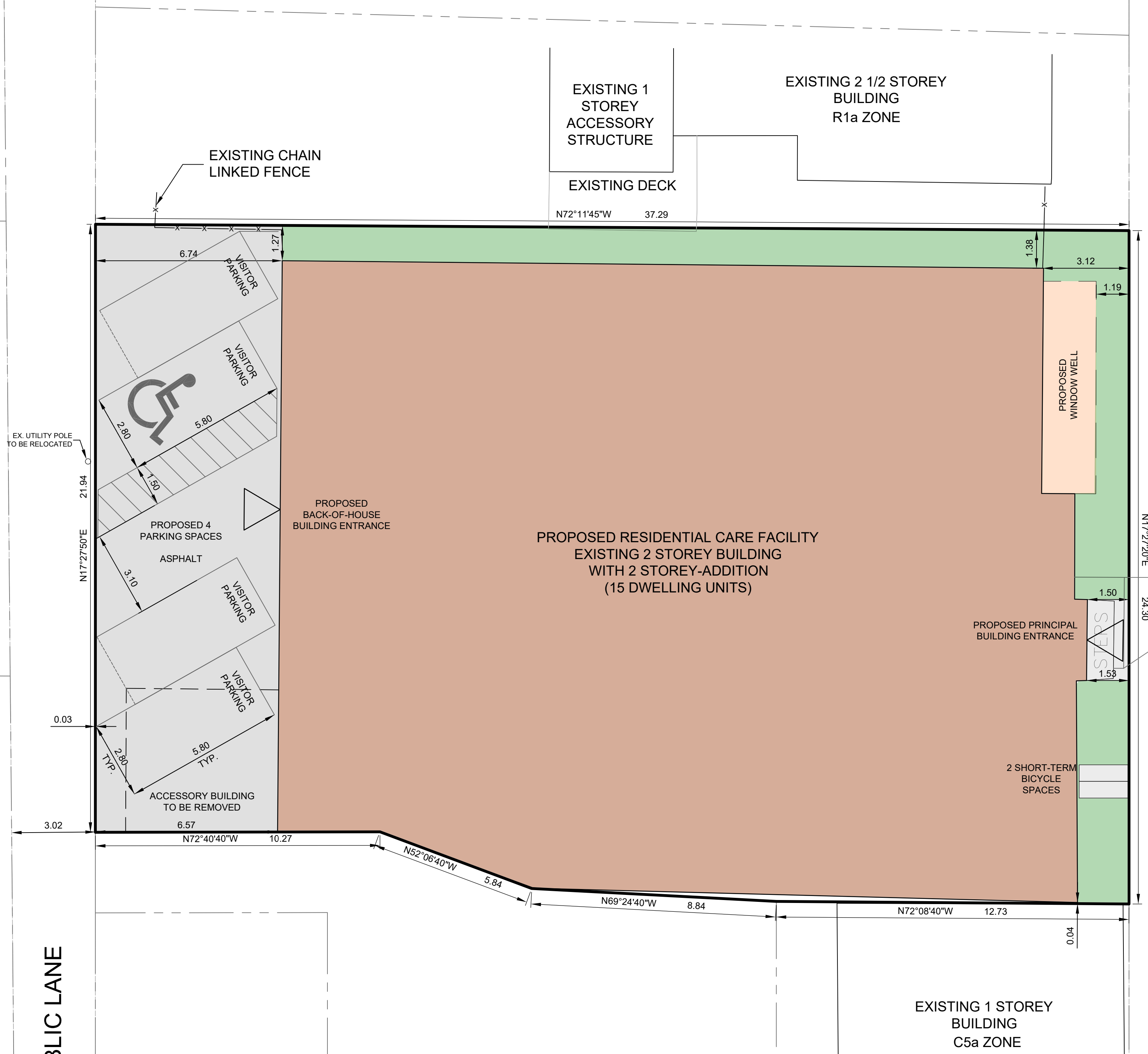
DWELLING UNITS 15



C5a ZONE

C5a ZONE

PUBLIC LANE



**CITY OF HAMILTON ZONING BY-LAW 05-200
NEIGHBOURHOOD COMMERCIAL (C2) ZONE**

DESCRIPTION	REQUIRED	PROPOSED	COMPLIANCE
PERMITTED USES	REFER TO S.10.2.1	RESIDENTIAL CARE FACILITY DWELLING UNITS	NO YES
MAX. GFA FOR DWELLING UNITS	MAX. 50%	20.2%	YES
MIN STREET LINE SETBACK	1.5m	1.50m	YES
MAX STREET LINE SETBACK	3.0m	1.50m	YES
MIN REAR YARD	6.0m	6.57m	YES
MIN INTERIOR SIDE YARD	1.5m, OR 3.0m ABUTTING RESIDENTIAL ZONE/USE OR INSTITUTIONAL ZONE	1.27m (EXISTING)	YES
MAX BUILDING HEIGHT	11.0m	12.12m	NO
MAX LOT AREA	5,000.0m ²	871.61 ²	YES

DESCRIPTION	REQUIRED	PROPOSED	COMPLIANCE
MIN PARKING SPACE SIZE	2.8m X 5.8m	2.8m X 5.8m	YES
MIN ACCESSIBLE SPACE SIZE	3.4m x 5.8m	2.8m X 5.8m	NO
MIN TWO WAY AISLE WIDTH	6.0m	0.03m	NO
MIN BICYCLE PARKING SPACES (PRA 1)			
DWELLING UNIT			
LONG-TERM	10 (0.7 PER UNIT)	10	YES
SHORT-TERM	2 (0.1 PER UNIT)	2	YES
MIN ACCESSIBLE PARKING SPACE	0	1	YES
MIN ACCESSIBLE AISLE WIDTH	1.5m	1.5m	YES
MIN PARKING SPACE (PRA 1)			
RESIDENTIAL CARE FACILITY	NONE	0	YES
DWELLING UNIT (VISITOR)	4	4	YES
MAX PARKING SPACE (PRA 1)			
RESIDENTIAL CARE FACILITY	N/A	4	YES
DWELLING UNIT	15 (1 PER UNIT)	4	YES

EAST AVENUE NORTH

LEGEND

REVISIONS			
B	REVIEW	23-DEC-2025	LR
A	ZONING COMPLIANCE REVIEW	31-OCT-2025	HN
REV.	DESCRIPTION	DATE	INIT.

DISCLAIMER
THIS DRAWING IS THE INTELLECTUAL PROPERTY OF
LANDWISE. AND IS PROTECTED UNDER COPYRIGHT.
ANY DISCREPANCIES SHALL BE REPORTED TO
LANDWISE. PRIOR TO THE START OF CONSTRUCTION.
THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION
UNLESS OTHERWISE INDICATED.

PROJECT TITLE

WAYSIDE HOUSE
OF HAMILTON

277 EAST AVENUE NORTH
HAMILTON, ONTARIO



310 LIMERIDGE ROAD WEST, SUITE 6 P 905-574-1993
HAMILTON ONTARIO, L9C 2V2 W LANDWISE.CA

DRAWING TITLE

CONCEPTUAL SITE PLAN

PRINT DATE 23-DEC-2025	DRAWN BY HN
REVISION B	DESIGNED BY HN
SCALE 1:100	DRAWING NUMBER CSP1-1

NOTES:

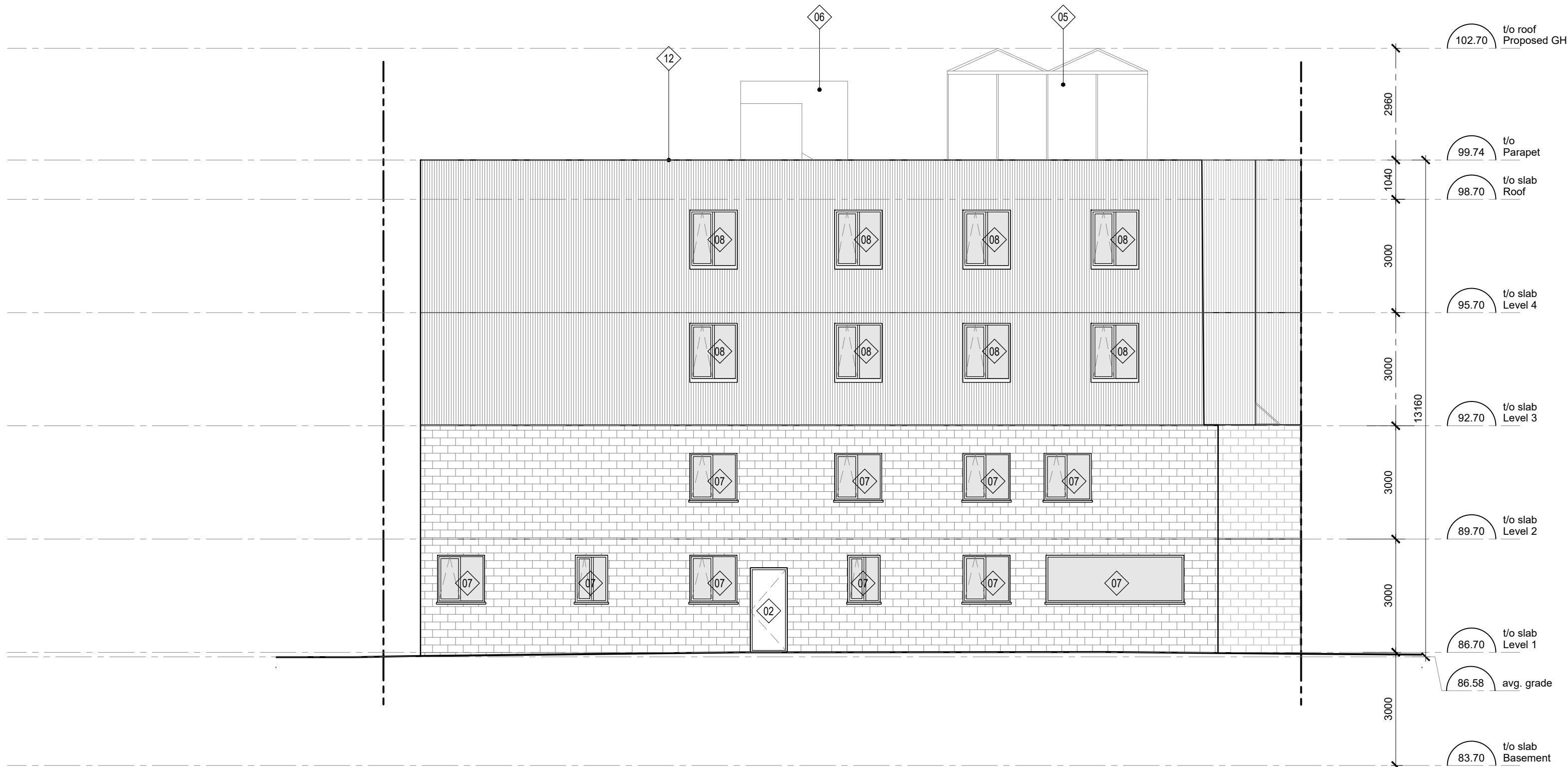
1. DIMENSIONS ARE SHOWN IN METERS.
2. DIMENSIONS SHOWN ARE BASED ON A SURVEY CONDUCTED IN 2023 BY J.D. BARNES LTD.
3. ALL BUILDING DESIGN TO BE VERIFIED BY A QUALIFIED PROFESSIONAL.

Appendix B:

Preliminary Building Elevations



2 | EXTERIOR ELEVATION EAST
1 : 100

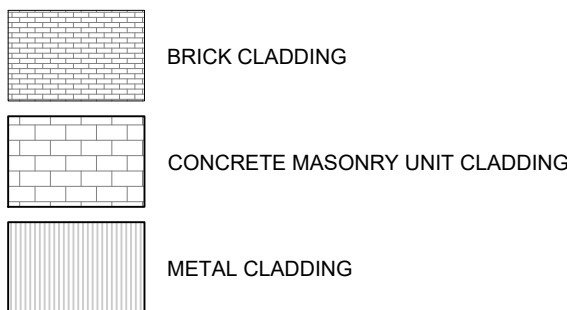


1 | EXTERIOR ELEVATION WEST
1 : 100

GENERAL NOTES - BUILDING ELEVATIONS

- COORDINATION WITH OTHER DISCIPLINES**
 - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH MECHANICAL AND ELECTRICAL DRAWINGS PREPARED BY THE MECHANICAL AND ELECTRICAL ENGINEERS TO DETERMINE LOCATIONS OF ALL MECHANICAL AND ELECTRICAL PENETRATIONS, FIXTURES, DEVICES, ETC.
 - ELEVATION DRAWINGS MAY NOT SHOW ALL PENETRATIONS. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. MAKE PROVISIONS FOR PENETRATIONS WHERE INDICATED AND REQUIRED UNDER THE SCOPE OF THIS CONTRACT.
 - ELEVATION DRAWINGS MAY NOT SHOW ALL FIXTURES, DEVICES, ETC. CONTRACTOR TO REVIEW ALL CONTRACT DRAWINGS AND SPECIFICATIONS TO DETERMINE FULL SCOPE OF WORK. REPORT ANY DISCREPANCIES WITH MECHANICAL AND ELECTRICAL DRAWINGS TO CONSULTANT IMMEDIATELY. OBTAIN INSTRUCTION FROM CONSULTANT BEFORE COMMENCING INSTALLATION.
- INSTALLATION REQUIREMENTS**
 - LOCATION OF FIXTURES, DEVICES, ETC. AS SHOWN ON ELEVATION DRAWINGS SHALL BE INSTALLED IN THE LOCATIONS INDICATED. UNLESS SPECIFICALLY DIMENSIONED, FIXTURES SUCH AS WALL-MOUNTED LIGHTS SHALL BE CENTERED OVER OPENINGS.
 - ALL DOOR AND WINDOW OPENINGS TO BE SITE MEASURED BY CONTRACTOR PRIOR TO FABRICATION.
- DIMENSIONS AND MEASUREMENTS**
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE TAKEN FROM MASONRY OPENINGS.
 - UNLESS OTHERWISE NOTED, ALL GLAZING WITHIN ALUMINUM ASSEMBLIES ARE TO BE DOUBLE-GLAZED, SEALED, AND INSULATED UNITS.
 - UNLESS OTHERWISE NOTED, ALL JOINT SEALANTS SEPARATING ALUMINUM ASSEMBLIES AND OTHER SUBSTRATES ARE TO MATCH THE COLOUR OF THE ADJOINING ALUMINUM FINISHED ASSEMBLIES.
- MATERIAL COORDINATION**
 - ENSURE THAT ALL ELEVATION MATERIALS, INCLUDING CLADDING, BRICK, AND STONE, ARE COORDINATED WITH THE ARCHITECTURAL FINISH SCHEDULE AND SPECIFICATIONS.
 - ANY MATERIAL JOINTS, SUCH AS EXPANSION JOINTS, CONTROL JOINTS, OR SEALANT JOINTS, SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS AND AS INDICATED IN CONTRACT DOCUMENTS.
- FLASHING**
 - INSTALL FLASHING AT ALL PARAPETS, DOOR AND WINDOW HEADS, SILLS, AND OTHER NECESSARY LOCATIONS AS REQUIRED TO PREVENT WATER PENETRATION.
 - TOLERANCE AND ALIGNMENT
 - ENSURE THAT ALL VISIBLE ELEMENTS, INCLUDING LOUVERS, SIGNAGE, AND MECHANICAL GRILLES, ARE INSTALLED LEVEL AND PLUMB. CHECK ALIGNMENT WITH ADJACENT FEATURES.
- WEATHERPROOFING**
 - ALL EXTERIOR ELEMENTS SHALL BE PROPERLY WEATHERPROOFED TO PREVENT INFILTRATION OF MOISTURE AND AIR INTO THE BUILDING ENVELOPE.

FACADE FINISHES LEGEND



ELEVATION LEGEND

No.	NOTE
01	EXISTING RETROFITTED WINDOW
02	EXTERIOR INSULATED HOLLOW METAL DOOR
03	ALUMINUM DOUBLE ENTRANCE DOOR
04	STEEL ENTRANCE CANOPY
05	POTENTIAL ROOFTOP GREENHOUSE
06	ROOF ACCESS ELEVATOR AND STAIR
07	NEW WINDOW IN EXISTING FACADE
08	NEW WINDOW ON ADDITION
09	ENTRANCE STEPS
10	ENTRANCE RAMP
11	PLANTERS
12	PREFINISHED METAL PARAPET
13	SKYLIGHT



WAYSIDE HOUSE OF HAMILTON

277 East Avenue North
Hamilton, ON L8L 5J6

D P A I

Design Partners in
Architecture and Interiors

Drawings are not to be scaled.

Contractor must verify all dimensions on the job and report any discrepancy to architects before proceeding with the work.

All drawings and specifications are the property of the architect and must be returned at the completion of the work.

This drawing is not to be used for construction until countersigned. Date:

Seals:

NOT INTENDED FOR
CONSTRUCTION

02 ISSUED FOR SPA 30-10-2025

01 ISSUED FOR SPA 15-04-2025

No.: Issue / Revision Date

Drawing Title:

EXTERIOR ELEVATIONS

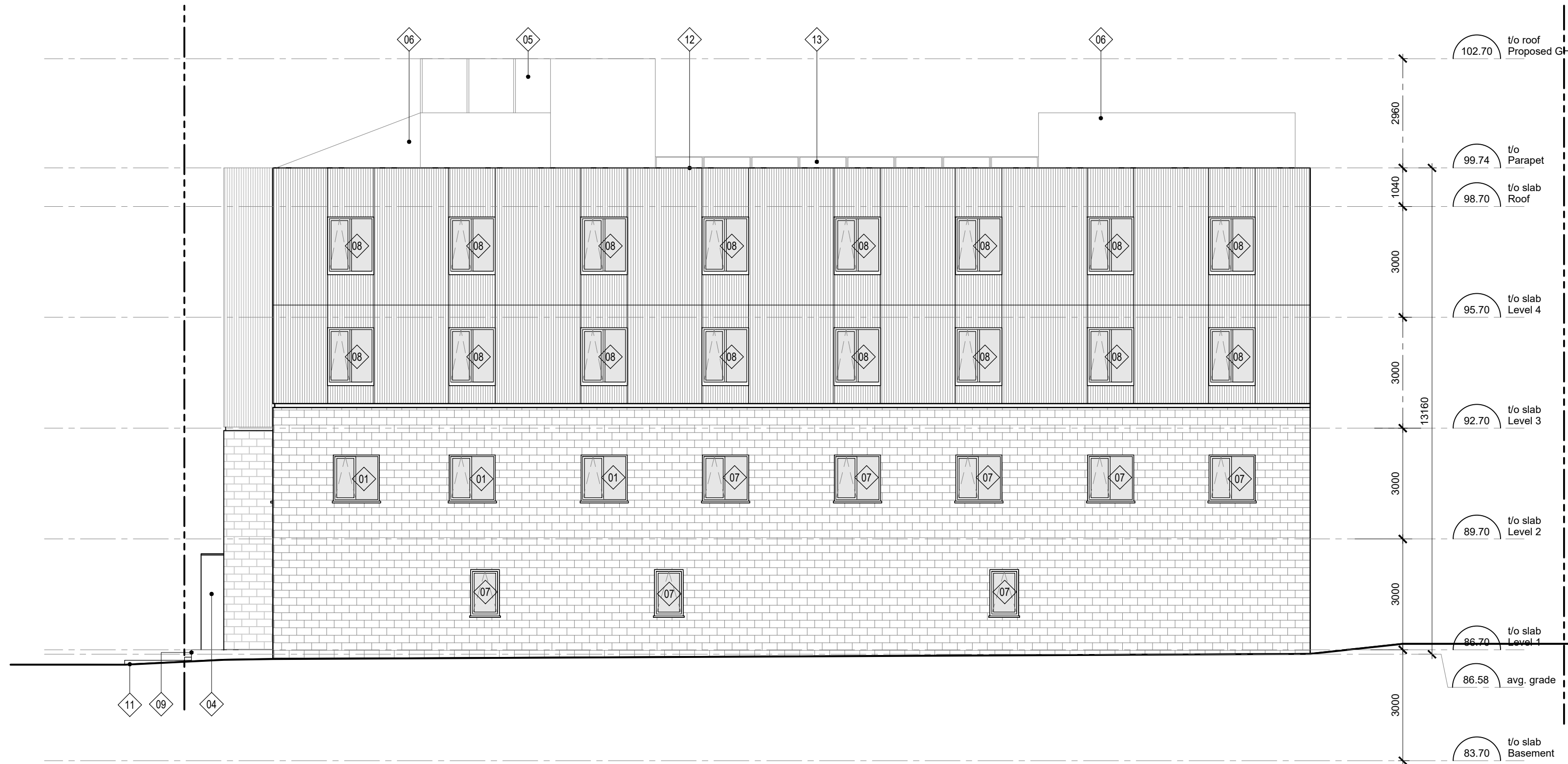
Issue Date: 30-10-2025

Drawn By.: Checked By:

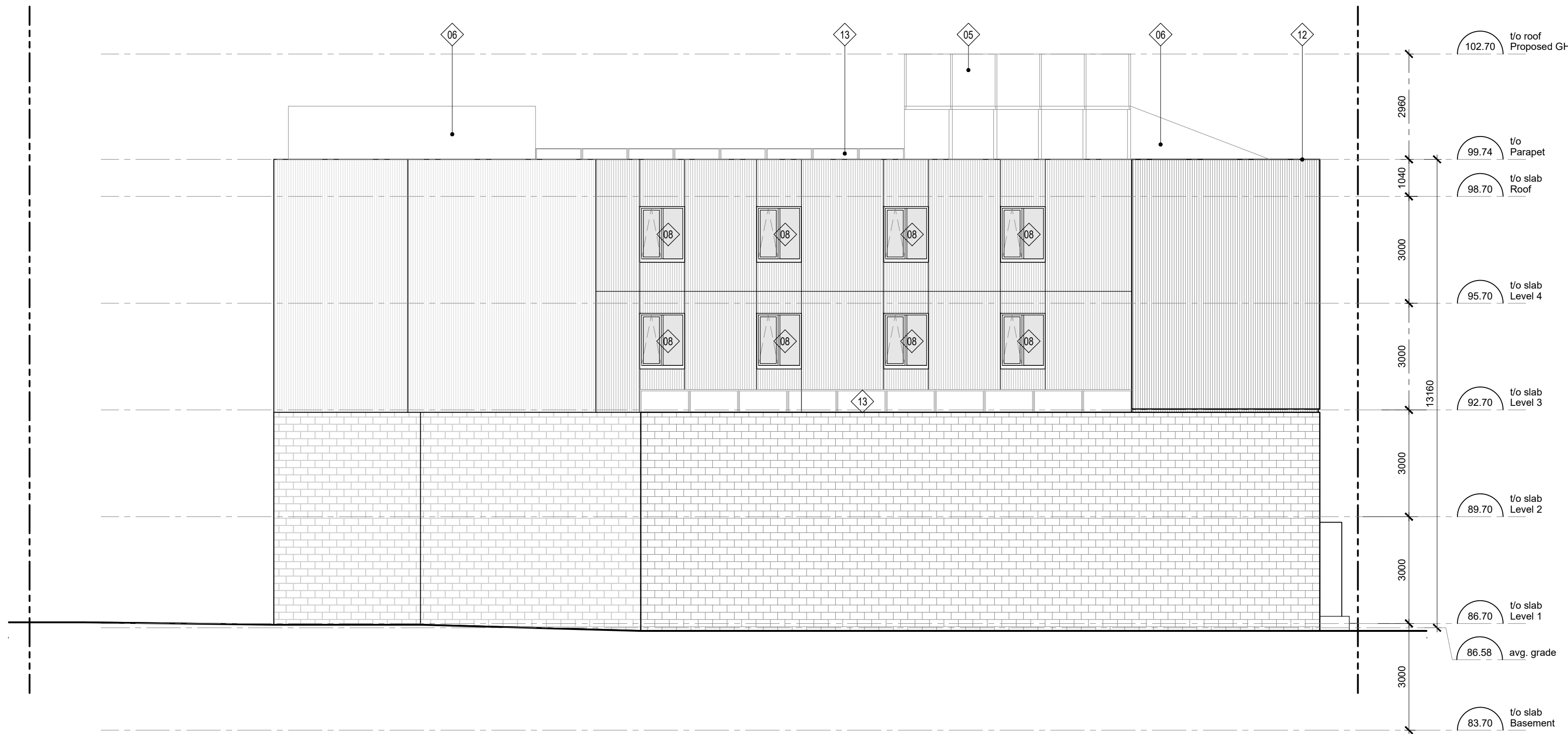
Project No.: 12305 Drawing Scale: As Noted

Drawing No.:

A02.000



2 EXTERIOR ELEVATION NORTH
1 : 100

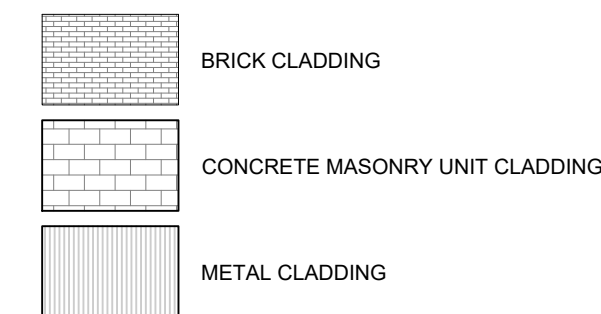


1 EXTERIOR ELEVATION SOUTH
1 : 100

GENERAL NOTES - BUILDING ELEVATIONS

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FACADE FINISHES LEGEND



ELEVATION LEGEND

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12	PREFINISHED METAL PARAPET
13	SKYLIGHT



WAYSIDE HOUSE OF HAMILTON

277 East Avenue North
Hamilton, ON L8L 5J6

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Seals:

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CONSTRUCTION

02 ISSUED FOR SPA 30-10-2025

01 ISSUED FOR SPA 15-04-2025

No.: Issue / Revision Date

Drawing Title:

EXTERIOR ELEVATIONS

Issue Date: 30-10-2025

Drawn By.: Checked By:

Project No.: 12305 Drawing Scale: As Noted

Drawing No.:

A02.001

Appendix C:

Draft Zoning By-law Amendment City of Hamilton No. 05-200

Authority: Item,
Report (PED [REDACTED])
CM:
Ward: X

Bill No.

**CITY OF HAMILTON
BY-LAW NO.**

To amend Zoning By-law No. 05-200 with respect to lands located at 273, 277 and 279 East Avenue North, Hamilton

WHEREAS Council approved Item ___ of Report _____ of the Planning Committee, at its meeting held on MONTH DAY, 2025

AND WHEREAS this By-law conforms to the Urban Hamilton Official Plan;

NOW THEREFORE Council amends Zoning By-law No. 05-200 as follows:

1. That Schedule “A” – Zoning Maps, Map. 912 is amended by changing the Neighbourhood Commercial (C2) to the Neighbourhood Commercial (C2, XXX) Zone, for the lands known as 273, 277 and 279 East Avenue North, the extent and boundaries of which are shown on Schedule “A” to this By-law.
2. That Schedule “C”: Special Exceptions is amended by adding the following new Special Exception:

“XXX Within the lands zoned Neighbourhood Commercial (C2,XXX) Zone, identified on Map. 912 of Schedule “A” – Zoning Maps and described as 273, 277 and 279 East Avenue North, Hamilton the following special provisions shall apply:

- a) Notwithstanding Section 3. Definitions as it relates to Residential Care Facility, the following definitions shall apply:

**Residential Care
Facility**

Shall mean a group living arrangement within a building for supervised residents where supports and/or services are provided on site, and may:

- a) House residents referred to the facility by a hospital, court, or government agency; and,
- b) Be a facility licensed, funded, and approved by a contract or agreement with the Federal, Provincial or Municipal Governments.

A residential care facility shall not include an emergency shelter, lodging house, corrections residence, or correctional facility.

Dwelling Unit, Mixed Use

Shall mean a room or suite of rooms used or intended to be used by one or more persons living together as one household, in which cooking and sanitary facilities are provided for the exclusive use of the household, and to which an independent entrance is provided from outside the building or from a common interior hallway, vestibule, or stairway and shall be located in the same building as a non-residential use or Residential Care Facility permitted in the zone.

- b) Notwithstanding Sections 5.2.2 a) i), 5.2.3 a) as it relates to a 60 degree parking angle and 5.7.3, the following regulations shall apply:
 - i) Minimum Accessible Parking Space Width A minimum width of 2.8 metres.
 - ii) Minimum Drive Aisle Width Shall not apply to 60 degree Parking Spaces.
 - iii) Minimum Accessible Parking Rate A minimum of 1 accessible parking space shall be provided on the lot.
- c) In addition to Section 10.2.1 and Notwithstanding Section 10.2.3 d) and j), the following regulations shall apply:
 - i) Permitted Uses Residential Care Facility

- ii) Building Height
 - A. Maximum 12.5 metres; and
 - B. In addition to the definition of Building Height in Section 3: Definitions, any wholly enclosed or partially enclosed amenity area, or any portion of a building designed to provide access to a rooftop amenity area shall be permitted to project above the uppermost point of the building, subject to the following regulations:
 - A. The total floor area of the wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area does not exceed 20% of the floor area of the storey directly beneath;
 - B. The wholly enclosed or partially enclosed structure belonging to an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall be setback a minimum of 3.0 metres from the exterior walls of the storey directly beneath, except enclosed stairs shall be a minimum of 0.0 metres; and,
 - C. The wholly enclosed or partially enclosed structure belonging to

an amenity area, or portion of a building designed to provide access to a rooftop amenity area shall not be greater than 4.0 metres in vertical distance from the uppermost point of the building to the uppermost point of the rooftop enclosure.

iii) Planting Strip
 Requirements

No Planting Strip shall be required

3. That no building or structure shall be erected, altered, extended, or enlarged, nor shall any building or structure or part thereof be used, nor shall any land be used, except in accordance with the provisions of the Neighbourhood Commercial (C2, XXX) Zone, subject to the special requirements referred to in Section 2. of this By-law.
4. That the Clerk is hereby authorized and directed to proceed with the giving of notice of the passing of this By-law in accordance with the *Planning Act*.

PASSED this _____ , 2026

A. Horwath
Mayor

M. Trennum
City Clerk

Appendix D:

Public Consultation Strategy Summary & Materials

Appendix D:

Public Consultation Strategy Summary & Materials

COMMUNITY OPEN HOUSE SUMMARY - SEPTEMBER 16, 2025

CONSULTATION DETAILS

<i>Date and time of event or launch of activity and end of commenting period;</i>	When: September 16, 2025 from 5:00pm-7:30pm Where: 24 Smith Avenue, Hamilton ON L8L 5P1
<i>Type of consultation activity or event and tools utilized</i>	A Community Open House invitation was mailed to a radius of 240 metres from the subject lands. The Open House was a drop-in format with information boards and team members from Landwise and dpai as well as Wayside House were available for questions.
<i>Names and roles of the lead and other participants involved in hosting, presenting, or providing information as part of the activity or event</i> <i>Key information presented</i>	Landwise: Katelyn Gillis, Hy Nguyen - Prepared, hosted, and provided large-format information boards with background on Wayside House of Hamilton and their community partners, the approvals process, development timeline, site plan, preliminary renderings dpai: Petra Matar, David Premi - Provided information on the proposed development Wayside House of Hamilton: Regan Anderson - Provided information specific to Wayside House of Hamilton
<i>Key contacts for the public to obtain more information if needed</i>	Landwise on behalf of Wayside House of Hamilton: connect@landwise.ca or 905.574.1993 x 207
<i>Opportunities for the public to provide their feedback and deadlines for that feedback</i>	A QR code to a Microsoft Form to collect comments was displayed on the Welcome Board and a small sign on the sign-in table. Deadline for providing feedback was September 30, 2025. Comment sheets were available to be left with the consultant team and had instructions for submitting comments at a later date.

RECORD OF NOTIFICATION

<i>Target audience /stakeholders and how they are impacted.</i>	Residents and businesses within 240 metres of the subject lands as well as community partners. 15 people attended.
---	--

<i>Record of circulation area receiving notification</i>	240 metres from the subject lands. Total of 663 addresses.
<i>List of other stakeholders notified</i>	Hamilton-Health Sciences, St. Joseph's Healthcare and other community groups.
<i>Any special efforts made to reach equity-deserving groups such as Indigenous communities, persons with disabilities, etc.</i>	No special efforts were made to equity-deserving groups.
<i>Ward Councillor and Manager of Development Planning notification.</i>	The Ward Councillor and Planning Staff were notified. The Councillor was unable to attend.
<i>Methods of notification used including copies of the advertisements, mailouts, emails, etc.</i>	Invitations were prepared and mailed by Landwise.
<i>Date notification was provided of the consultation activity/event</i>	Invitations were mailed on September 3 rd , 2025.
RESPONSE TO COMMENTS	
Refer to Planning Justification Report.	

On behalf of Wayside House of Hamilton, you are **INVITED** to a

COMMUNITY OPEN HOUSE

WHEN: Tuesday, September 16th, 2025
5:00 PM - 7:30 PM

WHERE: 24 Smith Avenue
Hamilton, ON L8L 5P1
(Niwasa Kendaaswin Teg)
Room: Gymnasium

**Venue has accessible parking
and an accessible entrance.**

FORMAT: Drop-in with information boards and team members available for questions. No formal presentation will be made.

SUBJECT 277 East Avenue North
PROPERTY: Hamilton, Ontario L8L 5J6



 **SUBJECT PROPERTY**

A Residential Care Facility is proposed at 277 East Avenue North, Hamilton. The proposal includes adaptively re-using the existing 2-storey building, with a 1 to 2-storey building addition. The proposed Residential Care Facility incorporates wraparound services such as housing, amenity areas, counselling and clinical spaces in a supportive environment.

This project requires a Zoning By-law Amendment application and Council Approval. The purpose of this Neighbourhood Open House is to provide an opportunity for you to learn more about Wayside House of Hamilton and the proposed development. Landwise along with Wayside House of Hamilton and the project team will be available for you to ask questions and share your comments. The City of Hamilton will provide a Notice of Statutory Public Meeting related to the Zoning By-law Amendment at a later date.



Preliminary Rendering by DPAI

If you have questions in advance of the open house, please contact **Landwise** on behalf of **Wayside House of Hamilton** by email: connect@landwise.ca or phone: **905.574.1993 x 207**

NUMBER	UNIT_NUM	FULL_STREET	SETTLEMENT	COMMUNITY	PROVINCE	COUNTRY	POSTAL_CODE
237		Barton Street East	Hamilton	Ontario	Canada	L8L 2X2	
270	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 5C9	
270	Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 5C9	
270	Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 5C9	
270 1/2	Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
272		Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
274	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
274	Unit BSMT	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
276		Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
280	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
280	Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
280	Unit 2 RR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
281		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
282	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
282	Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X3	
290		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
291	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
291	Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
291	Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
295	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
295	Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
295	Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
295	Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
299		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
301	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
301 1/2	Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
302	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
302	Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
302	BSMT Unit	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
303 1/2	Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
303 1/2	Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
303 1/2		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
304		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
304 1/2		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
305		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
306 1/2		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
307		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
308 1/2		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
309		Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
310	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
311	Unit 1 C	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4	
312	Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	
312 1/2		Barton Street East	Hamilton	Ontario	Canada	L8L 2X5	

313 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4
313 Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 2X4
314 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5
314 1/2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5
315 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
315 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
316 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5
316 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X5
317	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
319	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
320 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 5	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 7	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 8	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 9	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
320 Unit 10	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
321 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
322 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
322 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
322 Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
323 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
323 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
323 BSMT Unit	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
324	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
325	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
327 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
328 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
328 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
328 Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
329	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
329 1/2 Unit PT 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
331 Unit PT 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
332	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
333 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
333	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
333 1/2 PT 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
334	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
335	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
336	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
337	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
338 Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7

338	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
339	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
340 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
340 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
340 Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
340 Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
340 Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
340 Unit 1 RR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
341 Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
341	Barton Street East	Hamilton	Ontario	Canada	L8L 2X6
342 Unit 1 L	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
342 1/2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X7
345 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
345 Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
345 Unit 1 F	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
346	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
347 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
347 Unit 2 FR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
347 Unit 2 RR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
347 BSMT Unit	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
349 Unit 1 L	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 4	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
351 Unit 2 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
352 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
352 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
353	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
355 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
355 Unit 1 B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
355 Unit 1 F	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
356	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
357 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
357 Unit 1 R	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
358	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
359 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
359 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
360 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
361 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
361	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
362	Barton Street East	Hamilton	Ontario	Canada	L8L 2X9
363 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8

363 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
363 Unit 3	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
363 Unit 1 RR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
363 Unit 2 RR	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
363 BSMT Unit	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
365 Unit 1	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
365 Unit B	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
367 Unit 2	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
367 Unit 1 F	Barton Street East	Hamilton	Ontario	Canada	L8L 2X8
373	Barton Street East	Hamilton	Ontario	Canada	L8L 2Y2
78	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
80	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
86	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
88	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
92	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
94	Birge Street	Hamilton	Ontario	Canada	L8L 3L4
106	Birge Street	Hamilton	Ontario	Canada	L8L 3L5
108	Birge Street	Hamilton	Ontario	Canada	L8L 3L5
110	Birge Street	Hamilton	Ontario	Canada	L8L 3L5
132	Birge Street	Hamilton	Ontario	Canada	L8L 3L7
134	Birge Street	Hamilton	Ontario	Canada	L8L 3L7
20	Copeland Avenue	Hamilton	Ontario	Canada	L8L 0A3
206	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
208	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
210	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
212	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
214	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
216	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
218	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3
219 Unit 107	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 204	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 205	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 206	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 207	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 208	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 301	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 302	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 303	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 304	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 305	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 306	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 307	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
219 Unit 308	East Avenue North	Hamilton	Ontario	Canada	L8L 2R8
222	East Avenue North	Hamilton	Ontario	Canada	L8L 5J3

[illegible]

[illegible]

[illegible]

298	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
300	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
301	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
303	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
304	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
305 Unit 2	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
305 Unit 1	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
306	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
308 Unit A	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
308 Unit B	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
308	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
309	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
311	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
315	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
316	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
317	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
318	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
320	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
321	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
322	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
323	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
324	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
324 1/2	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
326	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
327	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
328	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
329	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
330	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
332	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
333	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
334	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
335	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
336	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
337	East Avenue North	Hamilton	Ontario	Canada	L8L 5J6
338	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
342	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
344	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
324 A	East Avenue North	Hamilton	Ontario	Canada	L8L 5J5
215	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L1
217	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L1
221	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L1
223	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L1
225	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L1
226	Emerald Street North	Hamilton	Ontario	Canada	L8L 5K8

[illegible]

[illegible]

296 2 FL	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
298 Unit A	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
298 Unit B	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
299	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
300	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
302	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
303	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
304 Unit 1	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
304 Unit 2	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
305	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
306	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
307	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
309	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
310	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
313	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
314	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
316	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
317	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
318	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
321	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
322	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
323	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
324	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
325	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
326	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
327	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
330	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
331	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
332	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
333	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
334	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
335 Unit 2	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
335	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
336	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
337	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
338	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L3
339	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
342	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L4
343	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
345	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
347	Emerald Street North	Hamilton	Ontario	Canada	L8L 5L2
87	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
89	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
91	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7

93	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
95	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
101 Unit 1	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
101 Unit 2	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
103	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
105	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M7
139 Unit 1	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
139	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
141	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
143 Unit 1	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
145	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
147	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
149	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
151	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
153	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
155	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
157	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
159	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
161	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
163	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
165	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
167	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
169	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
171	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
173	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
175	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
177	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
179	Oak Avenue	Hamilton	Ontario	Canada	L8L 5M9
319	Robert Street	Hamilton	Ontario	Canada	L8L 2R8
210 Unit 1	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
210 Unit 2	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
216	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
217	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3
218	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
220	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
221	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3
223	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3
224	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
225 Flr 2	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3
225	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3
226 Unit 1	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
226 Unit 2	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
230	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G2
231 Unit 2	Victoria Avenue North	Hamilton	Ontario	Canada	L8L 5G3

[illegible]

[illegible]

[illegible]

268	West Avenue North	Hamilton	Ontario	Canada	L8L 5C9
270	West Avenue North	Hamilton	Ontario	Canada	L8L 5C9
272	West Avenue North	Hamilton	Ontario	Canada	L8L 5C9

September 16, 2025

PLEASE SIGN IN

Community Open House | 277 East Avenue North



Please note that information will be collected in accordance with the Municipal Freedom of Information and Protection of Privacy Act. With the exception of personal information, please note all comments will become part of the public record.

NAME	EMAIL	PHONE NUMBER	ADDRESS
Joe Hitzert			
Frank Bolton			
Candace Culp			
Shawn Mackay			
Carol Morneau			
Ashlynn Prokop			
SAMIRA ABDUL			
STEFAN SPOLWIK			
Joseph Pauls			

September 16, 2025

PLEASE SIGN IN

Community Open House | 277 East Avenue North



Please note that information will be collected in accordance with the Municipal Freedom of Information and Protection of Privacy Act. With the exception of personal information, please note all comments will become part of the public record.

[illegible]

to your **Welcome** **COMMUNITY** **OPEN HOUSE**

for 277 East Avenue North

September 16, 2025, 5:00PM - 7:30PM

Please sign in and take a comment sheet.

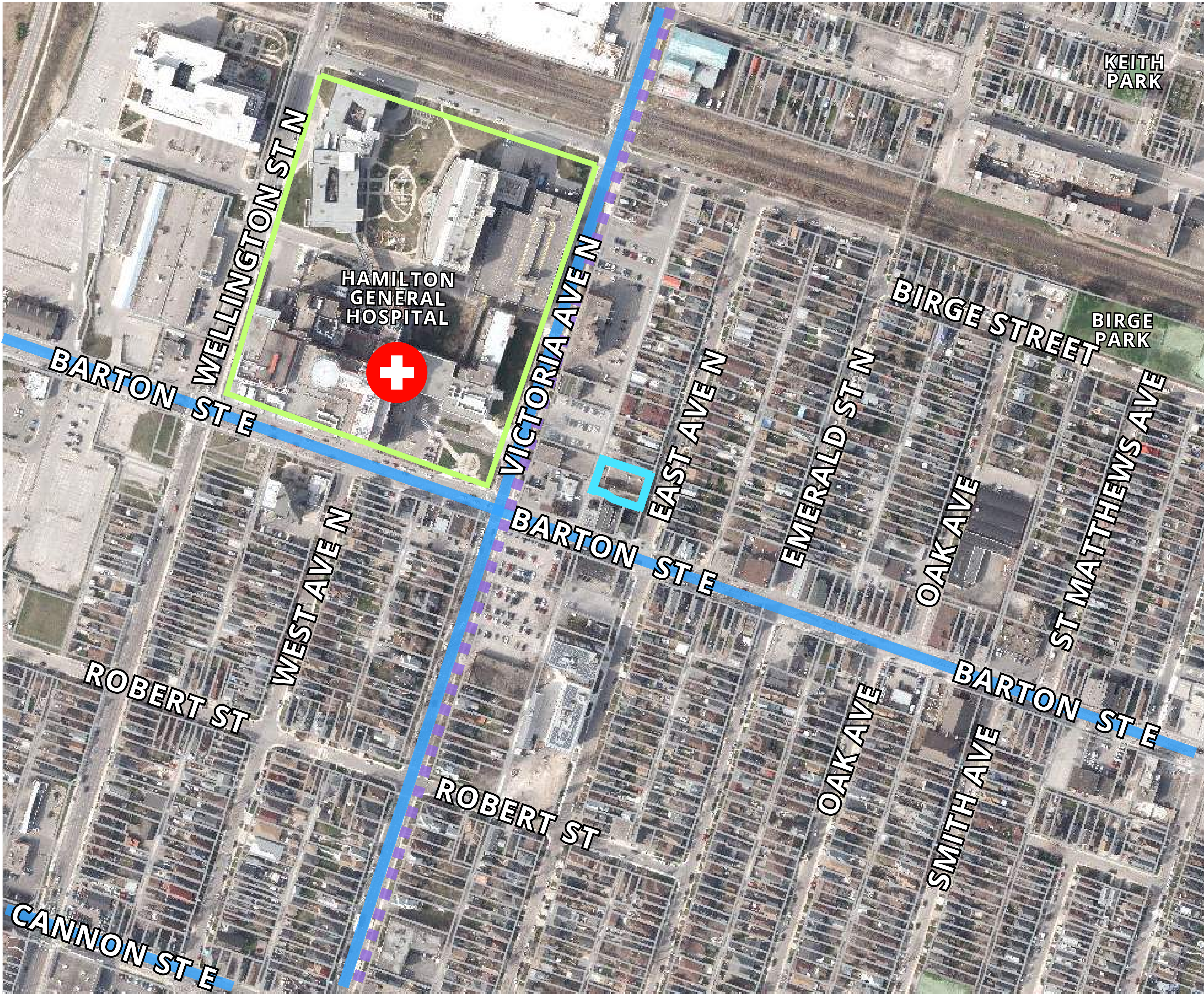


We want to hear from you!

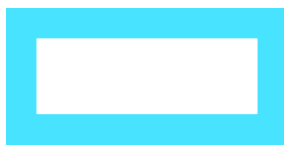
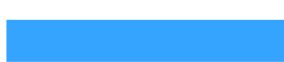
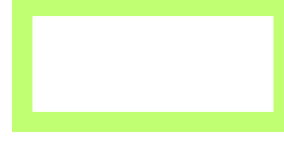
- Fill out a comment sheet
- Chat with our team
- Email connect@landwise.ca

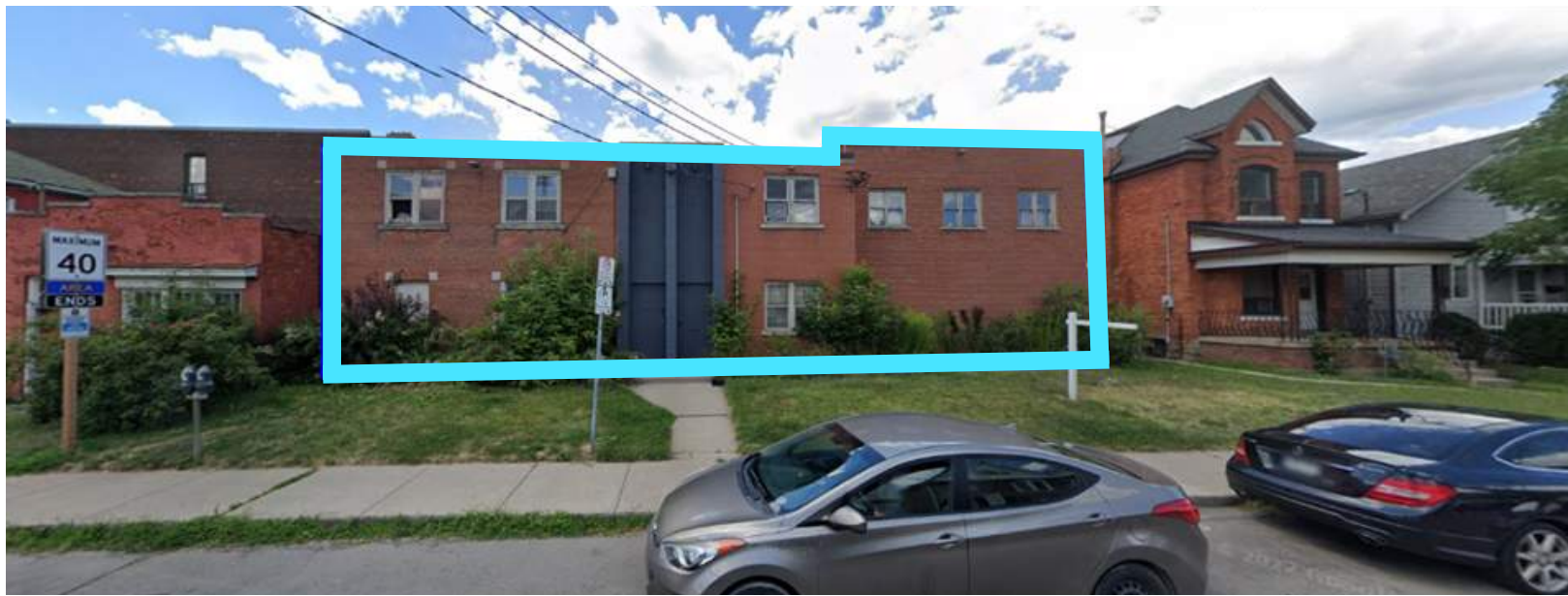


Site and Community Context



Legend

-  Subject Lands
-  Bus Routes
-  Bicycle Lanes
-  Hamilton General Hospital
-  Parks



ABOUT WAYSIDE HOUSE OF HAMILTON

Established in 1967, **Wayside House of Hamilton** is a non-profit organization committed to substance use disorder and concurrent disorders **residential treatment** and **supportive housing** for men and transitional-aged male youth. Wayside currently operates 25 beds for bedded treatment and 30 supportive housing beds within the **community**.

There remains a **significant gap** in the health system in supporting individuals with substance use disorder and concurrent disorders. Wayside House of Hamilton's goal is to bridge this gap by establishing **integrated** and **collaborative partnerships** with community health providers to ensure clients receive **seamless care**. This approach spans the **full continuum** of services—residential **treatment, supportive housing, outpatient programs**, and **wrap-around supports**—allowing individuals to move between levels of care without disruption.

Aligned with its partners across the Greater Hamilton system, Wayside's vision emphasizes **improved outcomes, reduced barriers**, and a **coordinated approach to care**.



FROM
1967

HELPED OVER
20,000
MEN

OPERATES
25
BEDS

OPERATES
50
COMMUNITY BEDS

BENEFITS OF AN INTEGRATED PATHWAY



Healthier Communities

Achieves outcome indicators of safety, wellness, and equity.



Seamless Continuity of Care

Reduces gaps and duplication by linking hospital, residential, housing, and outpatient services.



Improved Client Outcomes

Supports long-term recovery, reduces relapse, and promotes stability.



Hospital Diversion

Decreases emergency visits, repeat admissions, and alternate level of care pressures.



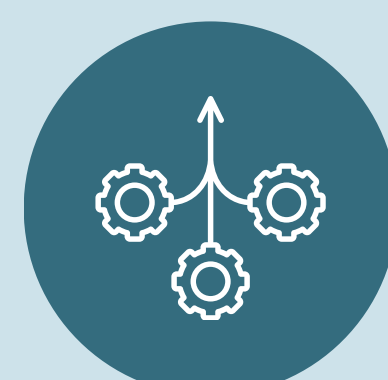
Addressing Social Determinants

Integrates housing, mental health, employment, and social supports.



High-Acuity Support

Expands capacity for those with complex concurrent disorders.



System Efficiency

Streamlines referrals, reduces wait times, and maximizes resources.

FORMAL COMMUNITY PARTNERS

Hamilton Health Sciences

St. Joseph's Healthcare

Alternatives for Youth

Mission Services of Hamilton

Hamilton Police Services

Greater Hamilton Health Network

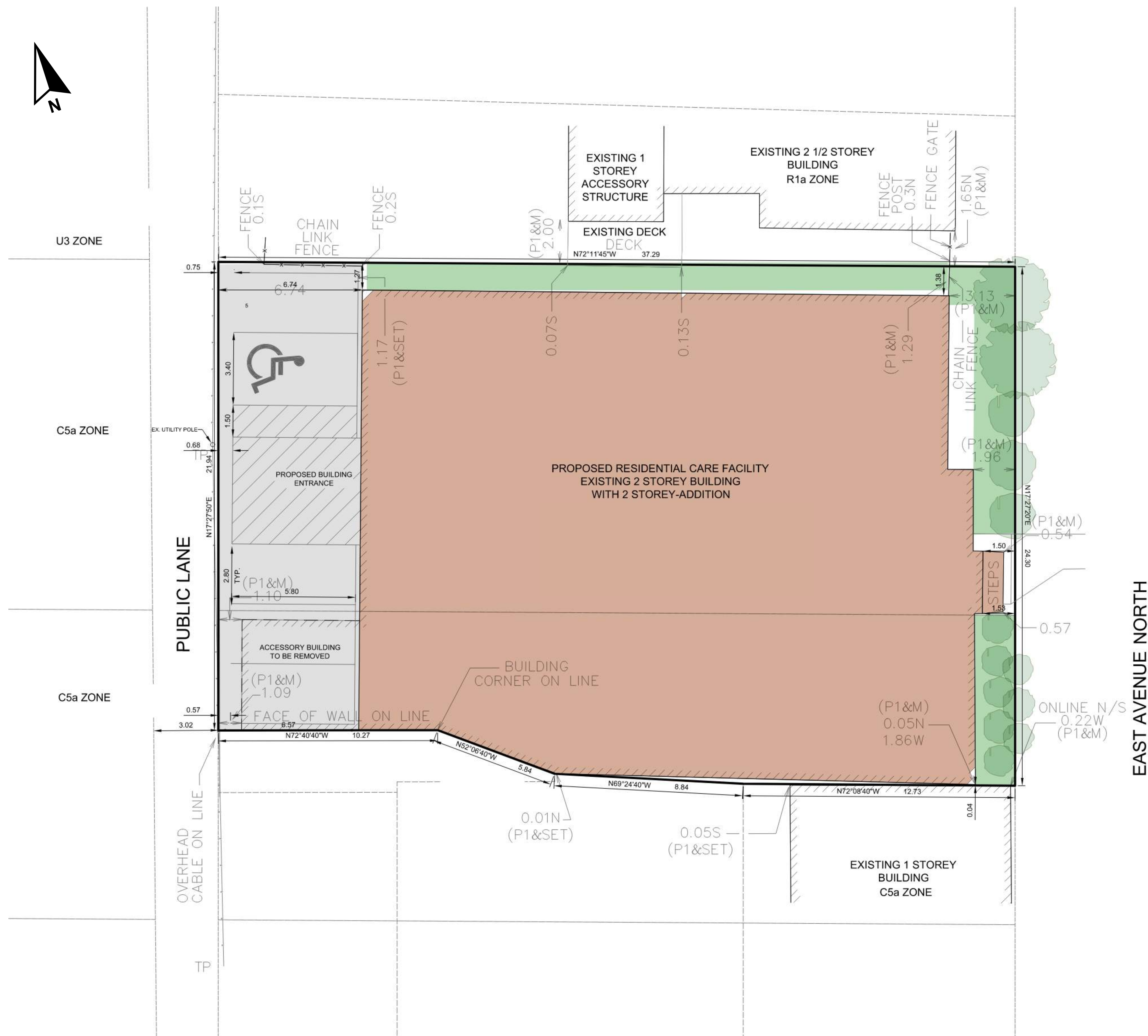
Indwell Community Homes

Canadian Mental Health Association - Hamilton

Addictions and Mental Health Association of Ontario

Endorsement by the Ontario Ministry of Health

SITE PLAN



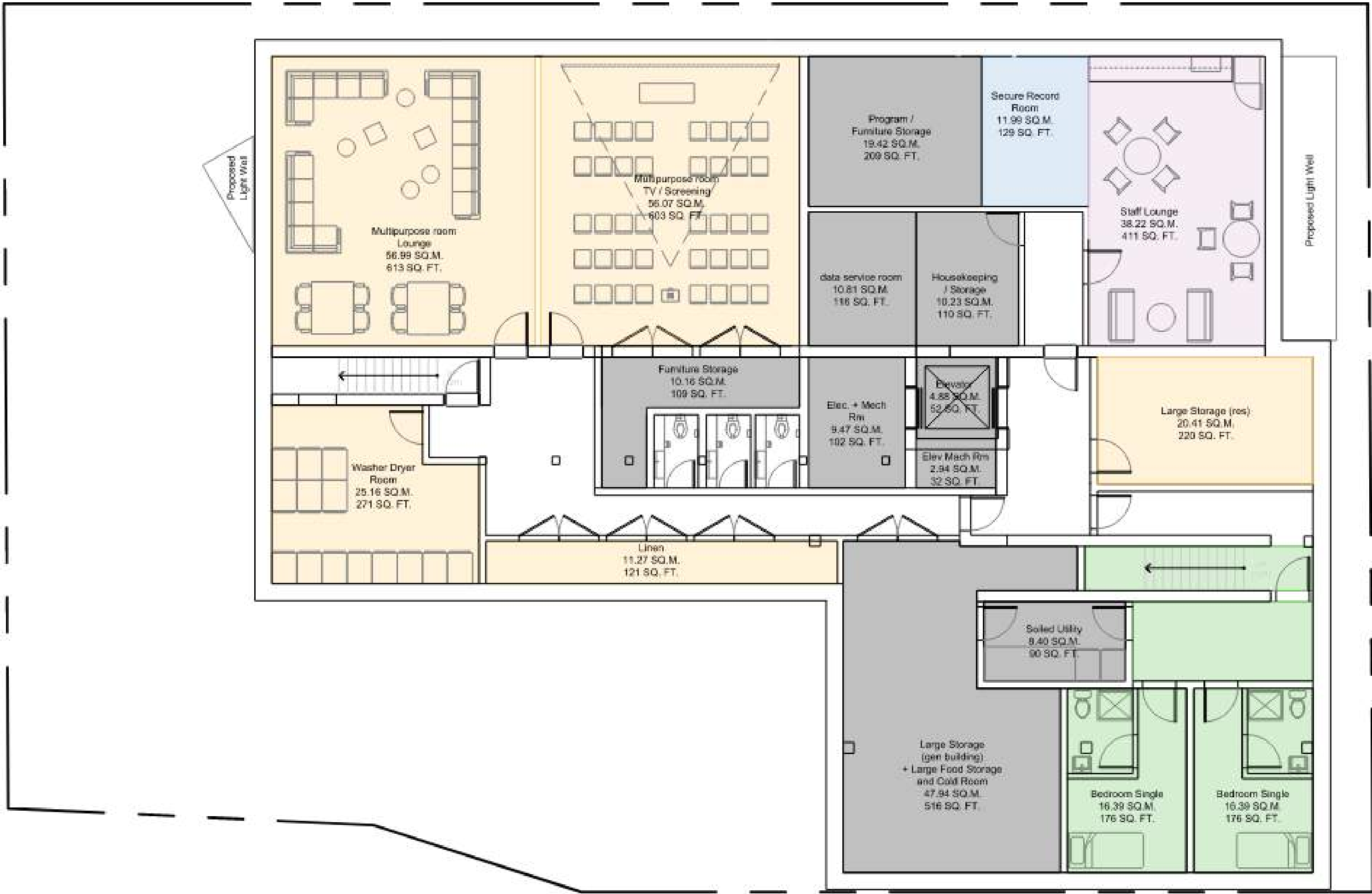
PROPOSED REDEVELOPMENT

- Maximum Height: 4 Storeys
- Treatment Beds: 50
- Shared Spaces:
 - Multi-purpose Rooms
 - Lounges
 - Rooftop Outdoor Amenity Area
 - Kitchen and Dining Rooms
- Wrap-Around Supports:
 - In-house Pharmacy
 - Counselling
 - Clinical Care
- Staff Workspace
- Safe and Affordable Housing

BUILT FORM



FLOOR PLANS

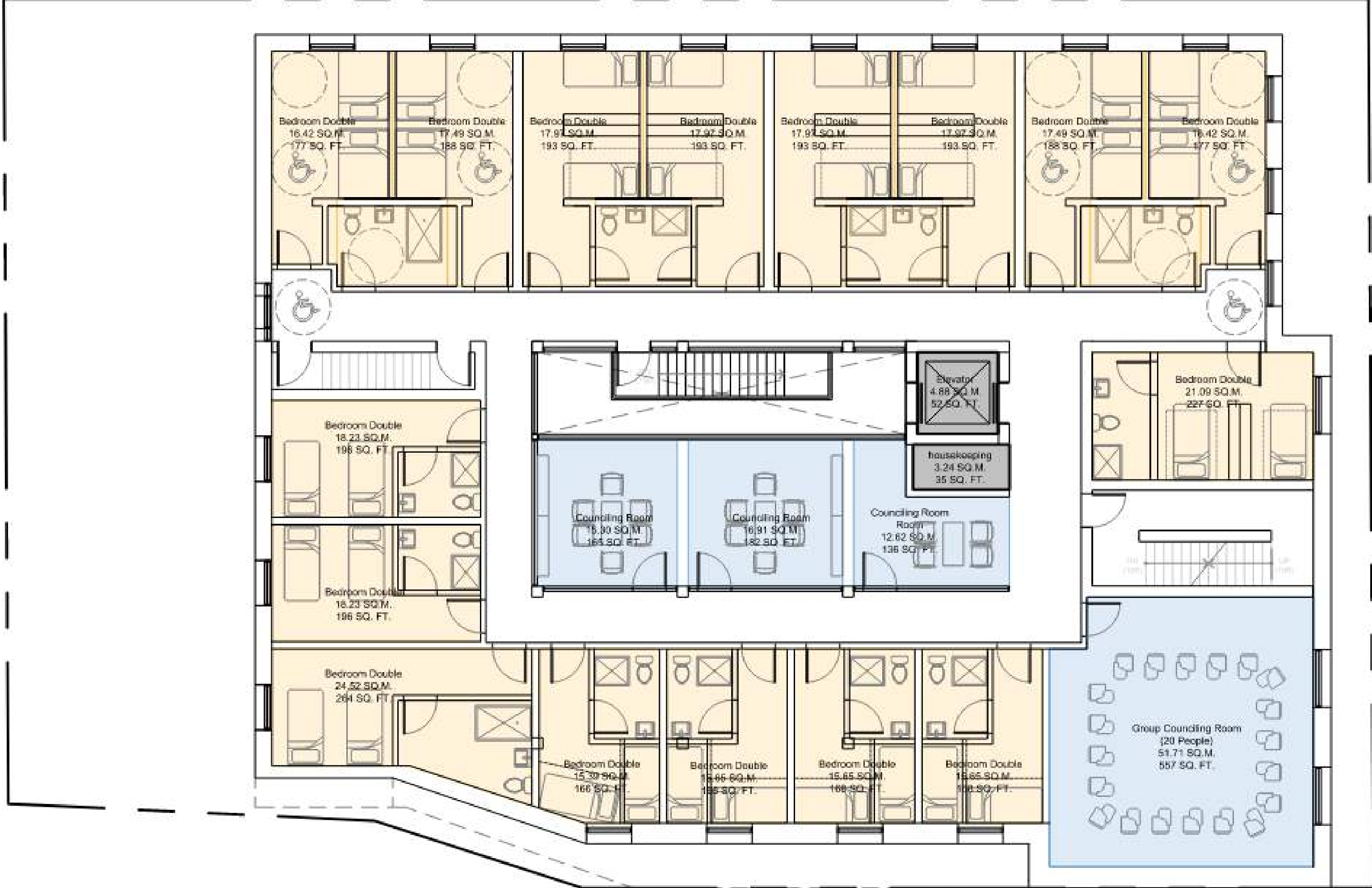
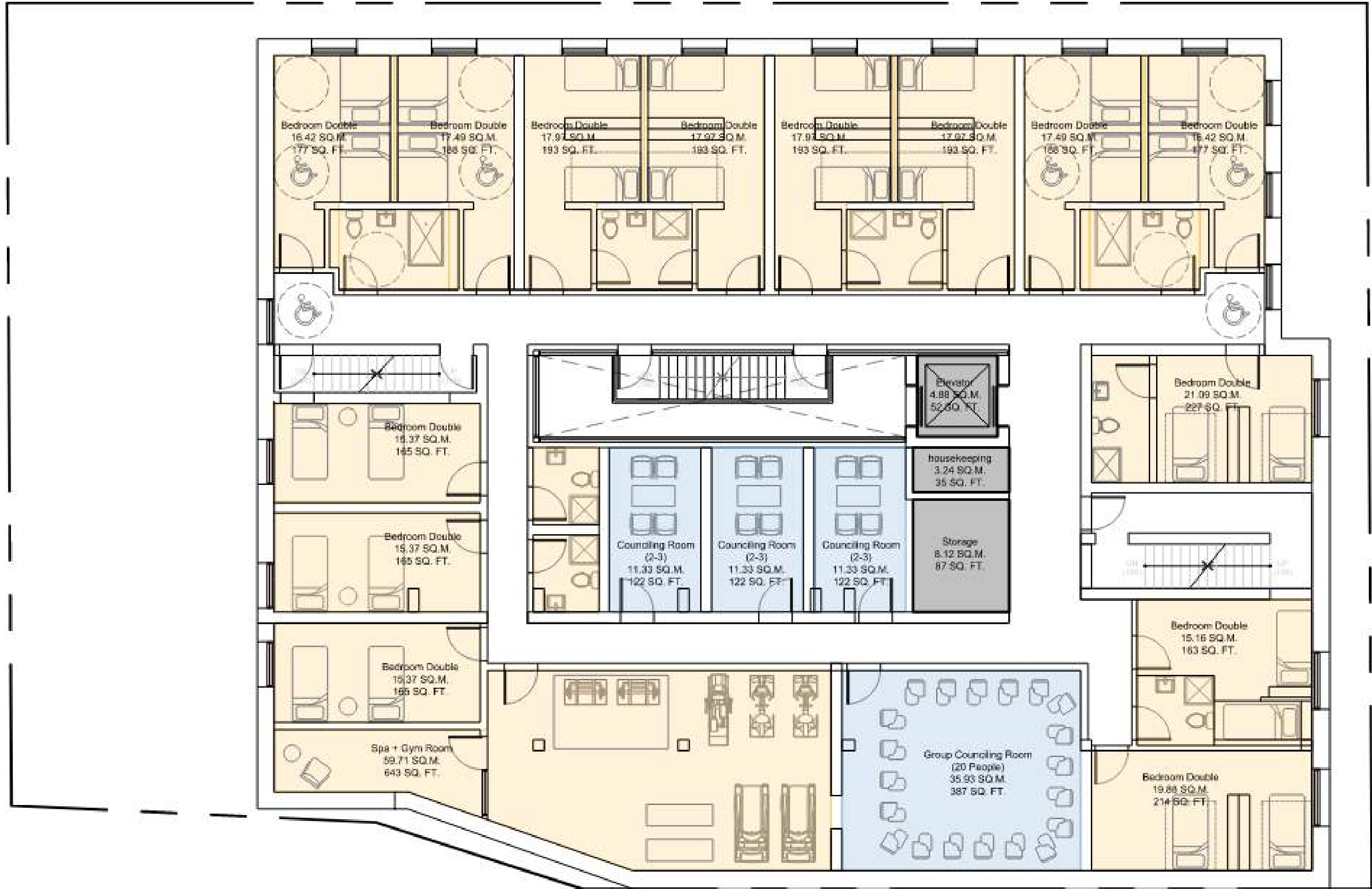


Basement

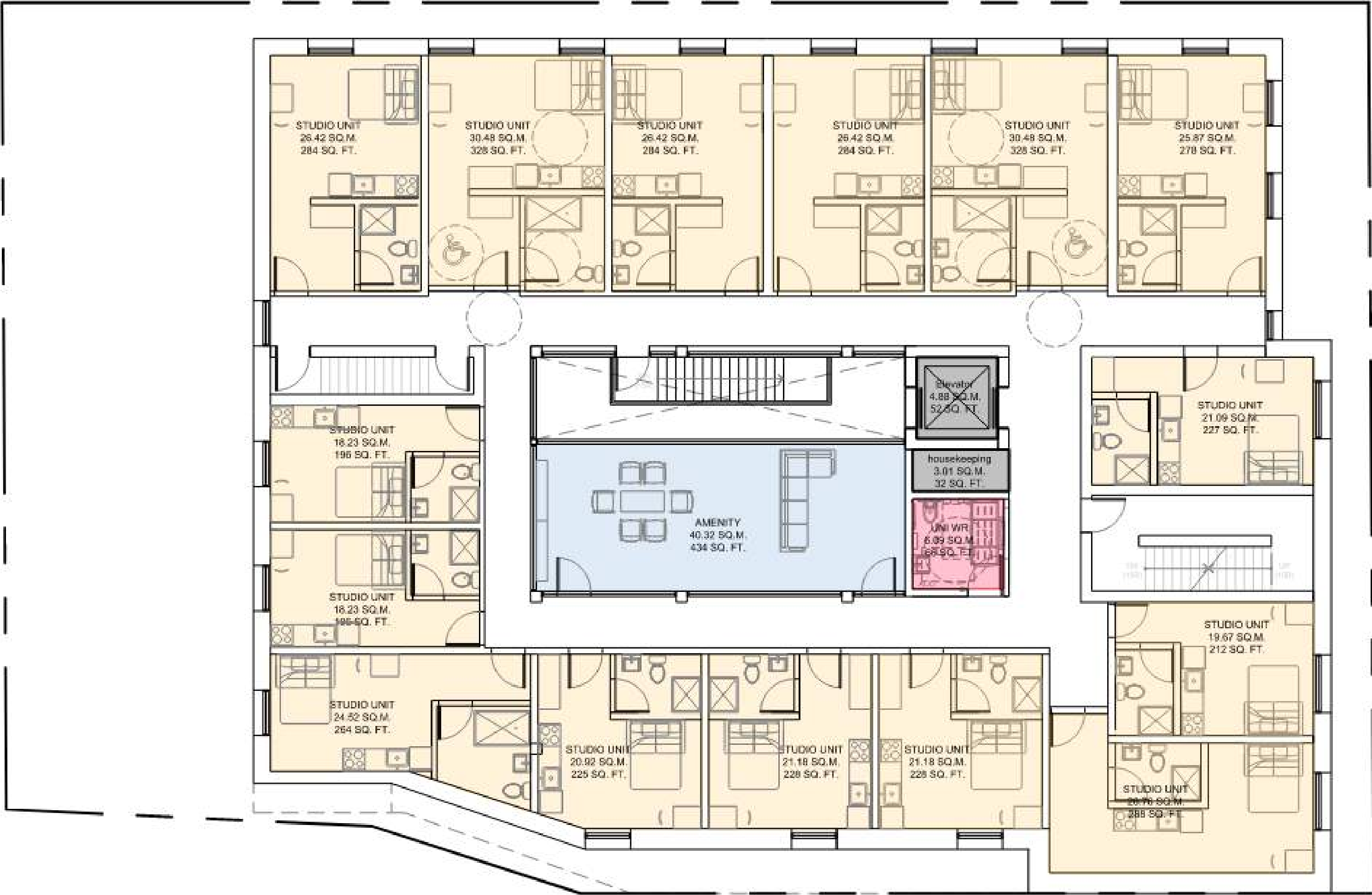


Level 1

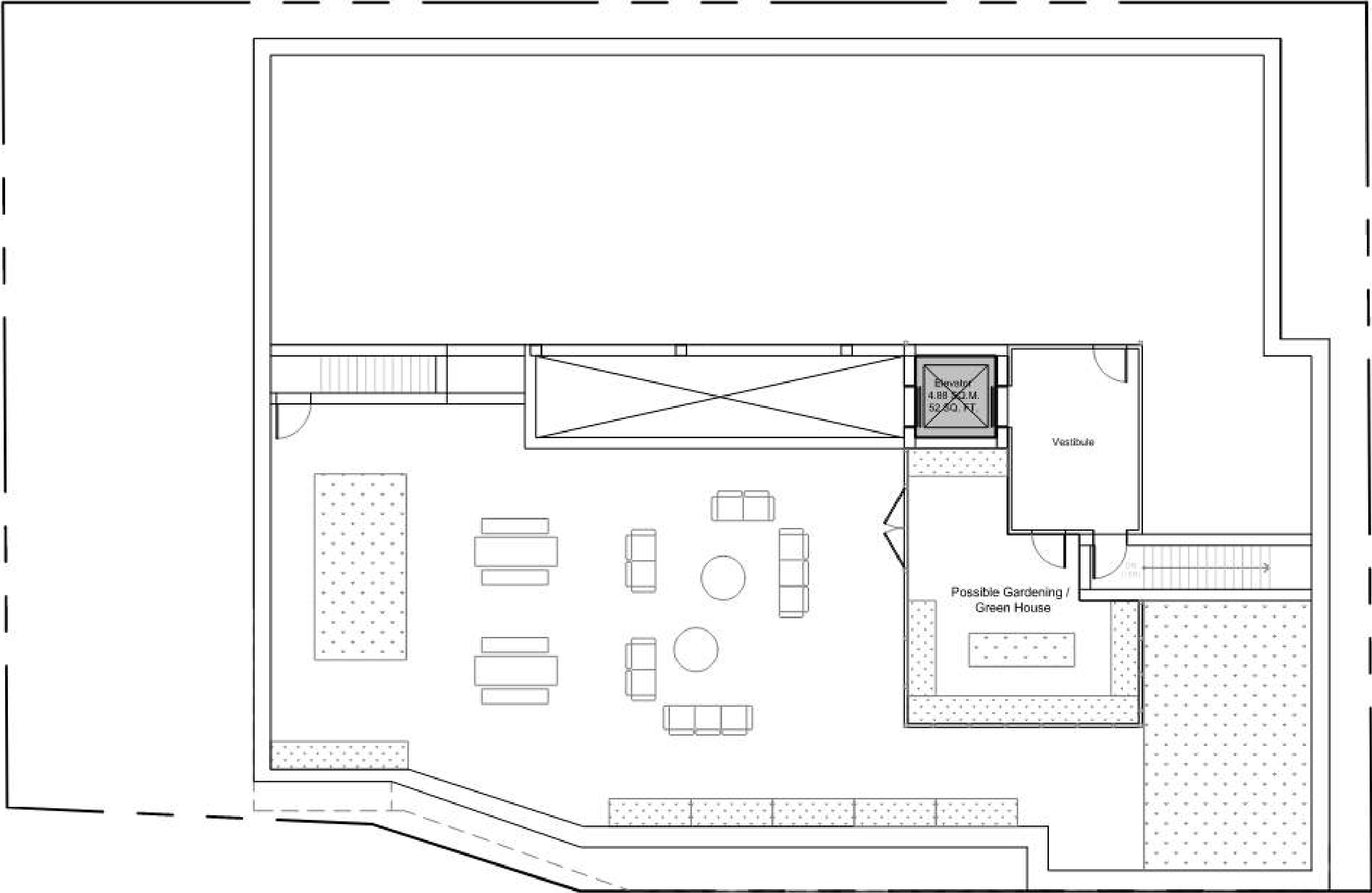
FLOOR PLANS



FLOOR PLANS



Level 4



Roof Level

WAYSIDE CLIENT TESTIMONIALS

Wayside for me is home base. A place to get support, accountability and connection with and from others who share my goal of abstinence from drugs and alcohol. It's a place where I have peers who understand me because they are facing the same fight I am. Hands down it's been the most like home a house has ever felt for me. JCJ

Wayside House of Hamilton helped me get sober by providing supportive programs, compassionate guidance, and a structured path to recovery. Wayside House of Hamilton is a staple in my recovery. JLJ

I'm so grateful to have come to Wayside house of Hamilton for my recovery, ever since day one I've felt like I was part of the family. The staff is so awesome, and they make me feel welcomed. I love how I can come back to Wayside anytime of the day as I please. I truly love how we have an awesome community. Coming back to aftercare is so important. I can see how other people are doing with there sobriety so I can absorb really important information. I truly am so grateful for Wayside of Hamilton for helping me and bringing me in for who I was. And that's made me a better person today. - HR

Wayside House has given me a real chance to restart and rebuild. Wayside House has taught me to look for Love, because in so many ways I felt shut out, Lies, because there were so many lies I told myself and Leverage, a way to take what WAS and turn it into what now IS. RW

Wayside was the only place that gave me the patience to get better over time, allowed me to keep coming back and gave me a family environment.... almost 4 years from when I walked in the door, they still give me everything I need to stay blessed! PK

Wayside's impact on my life has been profound. Before I came here, years of bad choices prevented me from becoming the son, brother and friend I wanted to be. The tools they equipped me with have allowed me to achieve 5 years of sobriety and newly enriched relationships. It is the staff who make the difference - they meet men where they are and guide them with empathy towards what they can become. The simplest way to explain why Wayside matters this is: I would not be the man I am today without it. PM

RA and the staff at Wayside House are truly the best people I have in my life. They showed me the love, the tools and the support I was missing which led me to my addiction. I went to Wayside nearly 9 years ago now and they are still actively in my life to this day. They really did show me how to live again and I owe them everything for that. SF

WAYSIDE CLIENT TESTIMONIALS

Life if I didn't go to Wayside I would not be alive today.

I am a better father, and I learned life is not always about me.

And Wayside matters to me because it's not just a place of rehabilitation it's so much more. It's like I have so much more family and Wayside gave me the tools that I can share with new guys in my life and what Wayside did for my whole life and family, so I just want to thank you for everything for a totally new adventure. BO

Wayside was instrumental not only in helping me get sober, but also in giving me the tools to stay sober today. Because of the support I've received, I now have a job I never thought possible and I'm preparing to get married this year—something I never imagined for myself. Most importantly, I've rebuilt a relationship with my family that I once believed was broken forever. Wayside continues to stand by me through their lifelong aftercare, and for that I'm deeply grateful. SG

It's hard to put into words the importance of something you hold so dear to your heart. Wayside gave me hope, health, and a home at the worst point of my life. My Wayside family continues to be my rock on the crazy journey and beautiful journey of life and sobriety I am on. I always and forever will continue to say Wayside is my second home. BK

When I came to Wayside I knew I had to do something about my substance abuse disorder but I didn't know how. With the proper guidance and support I have remained abstinent from drugs and alcohol while finding a community that I was so desperately in need of. Wayside is my home and I am forever grateful. JL

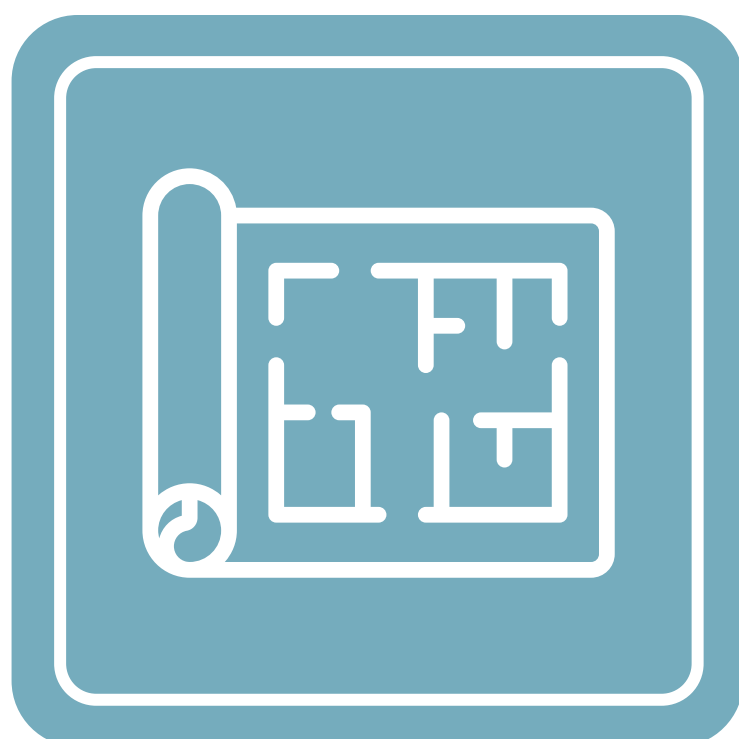
Wayside house of Hamilton changed my life in so many different ways. Not only did it help me achieve and maintain my sobriety, it also helped me merge my way back into society. They helped me socially and personally; I wouldn't be the amazing husband or father I am today if I didn't learn the proper tools to keep reminding myself every day that I'm worth it. My sobriety is worth it, my life is worth it. Thank you. DM

Wayside has got me through a very difficult time in my life. Before, I was lost in addiction and afraid of not being able to turn my life around. With this house's community, program and staff, I was able to do so while gaining useful tools and building resilience for the future. Now at 10 months sober I'm proud to say that Wayside is my second home and a place that I look forward to returning to on a daily basis. It is the community, compassion and resources that helped me realize my true potential. ZA

Suffering from mental health and addiction for many years made me feel helpless, lost and ashamed. When I heard about Wayside House, I knew it was the right place for me. I met people suffering just like me and I didn't feel alone anymore, they gave me hope. They designed a plan specifically for me. I've been clean almost a year and now I feel proud and confident of who I am. Thanks Wayside for showing me the road to walk it. CC

PLANNING PROCESS

WE ARE HERE



PROJECT INITIATION AND PUBLIC CONSULTATION

- Formal Consultation with City of Hamilton
- **September 16, 2025**
Community Open House

ZONING BY-LAW AMENDMENT

- Finalize Concept Plan Based on Results of Supporting Studies and Community Feedback Received
- Submit Application to the City of Hamilton
- Statutory Public Meeting and Recommendation Report at Planning Committee - Date To Be Confirmed
- Council Ratification of Decision

SITE PLAN APPROVAL AND BUILDING PERMIT

CONSTRUCTION

RELOCATION AND OCCUPANCY

PROPOSED ZONING BY-LAW AMENDMENT

The proposed **Zoning By-law Amendment** will permit a “**Residential Care Facility**” on **277 East Avenue North** for Wayside House to relocate their operations.

WHAT IS A ZONING BY-LAW?

A **Zoning By-law** is how municipalities, such as the City of Hamilton, **regulate land use**. It specifies permitted property uses and outlines technical building requirements, such minimum lot area, building setbacks, and maximum heights.

WHY IS THIS APPLICATION REQUIRED?

The zoning for 277 East Avenue North is currently “**Neighbourhood Commercial (C2) Zone**” in the **City of Hamilton Zoning By-law 05-200**, which does not allow the “**Residential Care Facility**” use. A request will be submitted to add the “**Residential Care Facility**” to this property as an exception to facilitate the proposed redevelopment.

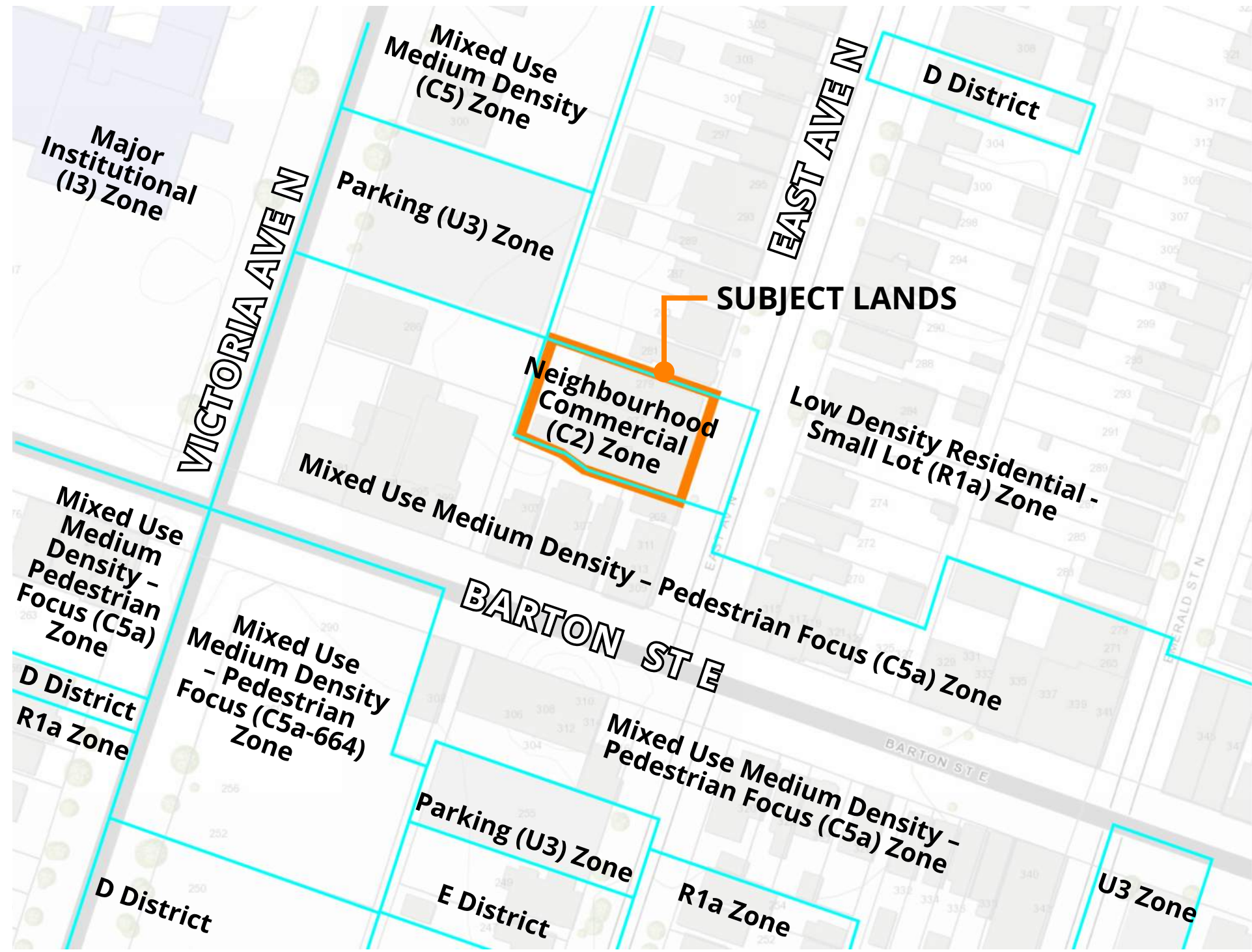
RESIDENTIAL CARE FACILITY DEFINED IN ZONING BY-LAW 05-200

“ Shall mean a **group living arrangement** within a fully detached residential building for **supervised residents** where **supports** and/or **services are provided on site**, and may:

- a) **House residents** referred to the facility by a hospital, court, or government agency; and,
- b) Be a facility **licensed, funded, and approved** by a contract or agreement with the **Federal, Provincial or Municipal Governments**.

A residential care facility shall **not** include an emergency shelter, lodging house, corrections residence, or correctional facility.

ZONING MAP



Captured from City of Hamilton Zoning By-law 05-200 Interactive Map

ZONES PERMITTING RESIDENTIAL CARE FACILITY

- Low Density Residential - Small Lot (R1a) Zone
- Major Institutional (I3) Zone
- Mixed Use Medium Density (C5) Zone