

VINELAND

4933 VICTORIA AVENUE NORTH

APPLICATION FOR ZONING BY-LAW AMENDMENT

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WIND
GRADIENT WIND ENGINEERS & SCIENTISTS
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www.gradientwind.com

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J.E. COULTER ASSOCIATES LIMITED
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www.jecoulterassoc.com

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SHOREPLAN ENGINEERING
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ENVIRONMENTAL IMPACT / TPP
GEI CONSULTANTS - MARKHAM BRANCH
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ARCHITECTURAL SHEET LIST

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2 2024/04/26 REVISION FOR IBA
1 2024/02/23 ISSUED FOR IBA

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4933 VICTORIA AVENUE NORTH

SCALE
PROJECT NO. 202302
ISSUE DATE APRIL 26, 2024

COVER SHEET

A000

PARKING LEGEND & NOTES

NOTE: ALL PARKING LEVELS MUST COMPLY WITH THE REQUIREMENTS OF THE TORONTO MUNICIPAL CODE CHAPTER 624, PROPERTY STANDARDS

GENERAL MAINTENANCE:
THE WALLS, FLOOR, CEILINGS AND COLUMNS SHALL BE MAINTAINED FREE OF HOLES, BREAKS, OR CRACKS, AND KEPT CLEAN BY PERIODIC BRUSHING, WASHING AND PAINTING, AND EVERY WALL AND COLUMN SHALL BE PAINTED WHITE FROM A LEVEL OF 24 INCHES ABOVE THE FLOOR TO THE CEILING AND EVERY CEILING SHALL BE PAINTED WHITE. WALLS FROM A LEVEL TO 24 INCHES SHALL BE PAINTED BLACK.

LIGHTING STANDARDS:
PROVIDE ILLUMINATION BY ARTIFICIAL MEANS AT A MINIMUM MAINTENANCE LEVEL OF ILLUMINATION OF FIVE FOOT CANDLES OR LUX, AT A LEVEL OF ILLUMINATION IN WHICH THE AMBIENCY INDEX DOES NOT EXCEED 4.1.

PROTECTION AND CLEANING OF LIGHTING FIXTURES:
ALL LIGHTING FIXTURES SHALL BE PROTECTED FROM DAMAGE BY THE PROVISION OF REQUIRED WIPED GLASS OR OTHER SUITABLE MEANS OF PROTECTION AND SHALL BE MAINTAINED IN A CLEAN CONDITION.

FASTENINGS ON REQUIRED EXIT DOORS:
EVERY EXIT DOOR SHALL OPEN IN THE DIRECTION OF EGRESS FROM THE GARAGE WITHOUT THE USE OF A KEY OR OTHER DEVICE AND EQUIPPED WITH A LATCHING DEVICE THAT WILL RELEASE THE LATCH AND ALLOW THE DOOR TO OPEN FULLY WHEN A FORCE OF NOT MORE THAN 20 POUNDS IS APPLIED TO THE DEVICE IN THE DIRECTION OF EXIT TRAVEL.

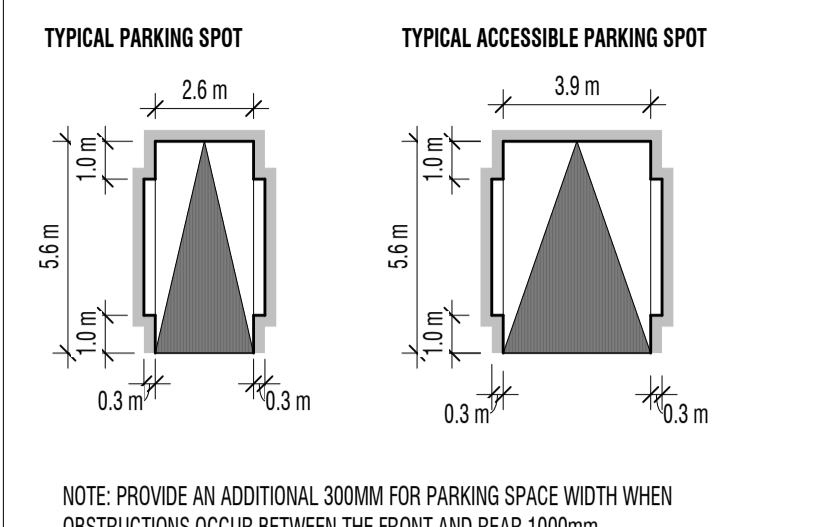
FASTENINGS ON ENTRANCE DOORS:
EVERY ACCESS DOOR SHALL BE EQUIPPED WITH A LATCH THAT WILL PREVENT ENTRY TO THE GARAGE EXCEPT BY THE USE OF A KEY, COORD CODED OR SIMILAR DEVICE AND A LOCKING DEVICE DESIGNED TO RETURN THE DOOR TO THE CLOSED AND LATCHED POSITION AFTER EACH USE.

SIGNAGE:
LARGE SAFE-EXIT ARROWS (SEE DRAWING) SHALL BE DISPLAYED ON SAFE-EXIT DOORS 1500 MILLIMETERS ABOVE THE FLOOR, MEASURED FROM THE CENTER OF THE ARROW TO THE FLOOR, WITH THE ARROW POINTING DOWN.

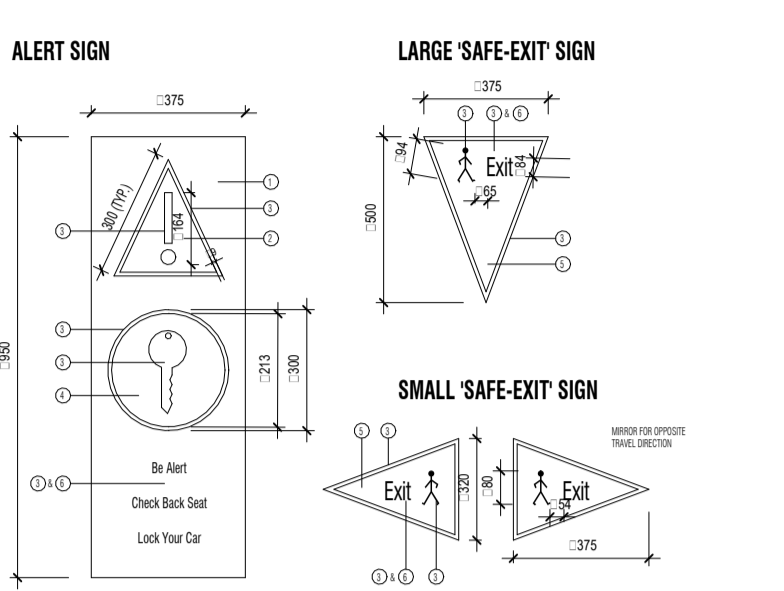
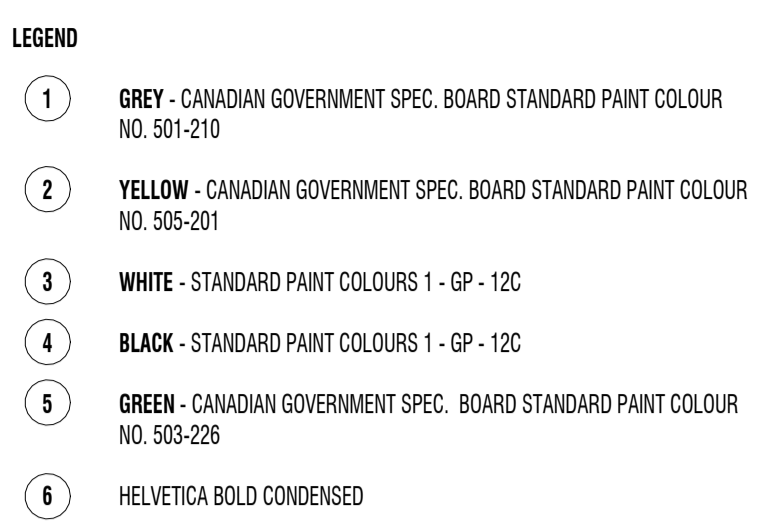
SMALL SAFE-EXIT ARROWS (SEE DRAWING) SHALL BE PROMINENTLY DISPLAYED ON COLUMNS OR WALLS 1500 MILLIMETERS ABOVE THE FLOOR, MEASURED FROM THE CENTER OF THE ARROW TO THE FLOOR, AT LEAST EVERY TEN METERS ALONG THE SAFE-EXIT ROUTE. AT ALL SAFE-EXIT ROUTE DECISION POINTS ALONG THE SAFE-EXIT ROUTE, AND WHEREVER A SAFE-EXIT ROUTE CROSSES A TRAFFIC ARTERIAL.

THE FOLLOWING SHALL BE COLOURED GREEN TO MATCH 1965 CANADIAN GOVERNMENT SPECIFICATION BOARD STANDARD PAINT COLOUR 503 026 FROM THE DOCUMENT ENTITLED "STANDARD PAINT COLOURS 1-100" THE SAFE-EXIT DOOR. THE FRAME OF THE SAFE-EXIT DOOR AND WALL ADJACENT TO THE SAFE-EXIT DOOR TO A DISTANCE OF ONE METRE ON EITHER SIDE OF THE FRAME, AND TO A HEIGHT OF 2100 MILLIMETERS ABOVE THE DOOR OR TO THE SOFFIT ABOVE THE BLANKHEAD OVER THE DOOR.

ALERT SIGNS (SEE DRAWING) SHALL BE PROMINENTLY DISPLAYED ON COLUMNS OR WALLS 2100 MILLIMETERS ABOVE THE FLOOR, MEASURED FROM THE TOP OF THE SIGN TO THE FLOOR, ON THE BACK OF ONE ALERT SIGN FOR EVERY 25 PARKING STALLS IN THE GARAGE, WITH THE ALERT SIGNS BEING PLACED CONTRASTED IN THE GARAGE AND IN ANY OTHER ROOMS CLOSER THAN 20 METRES APART FROM EACH OTHER.

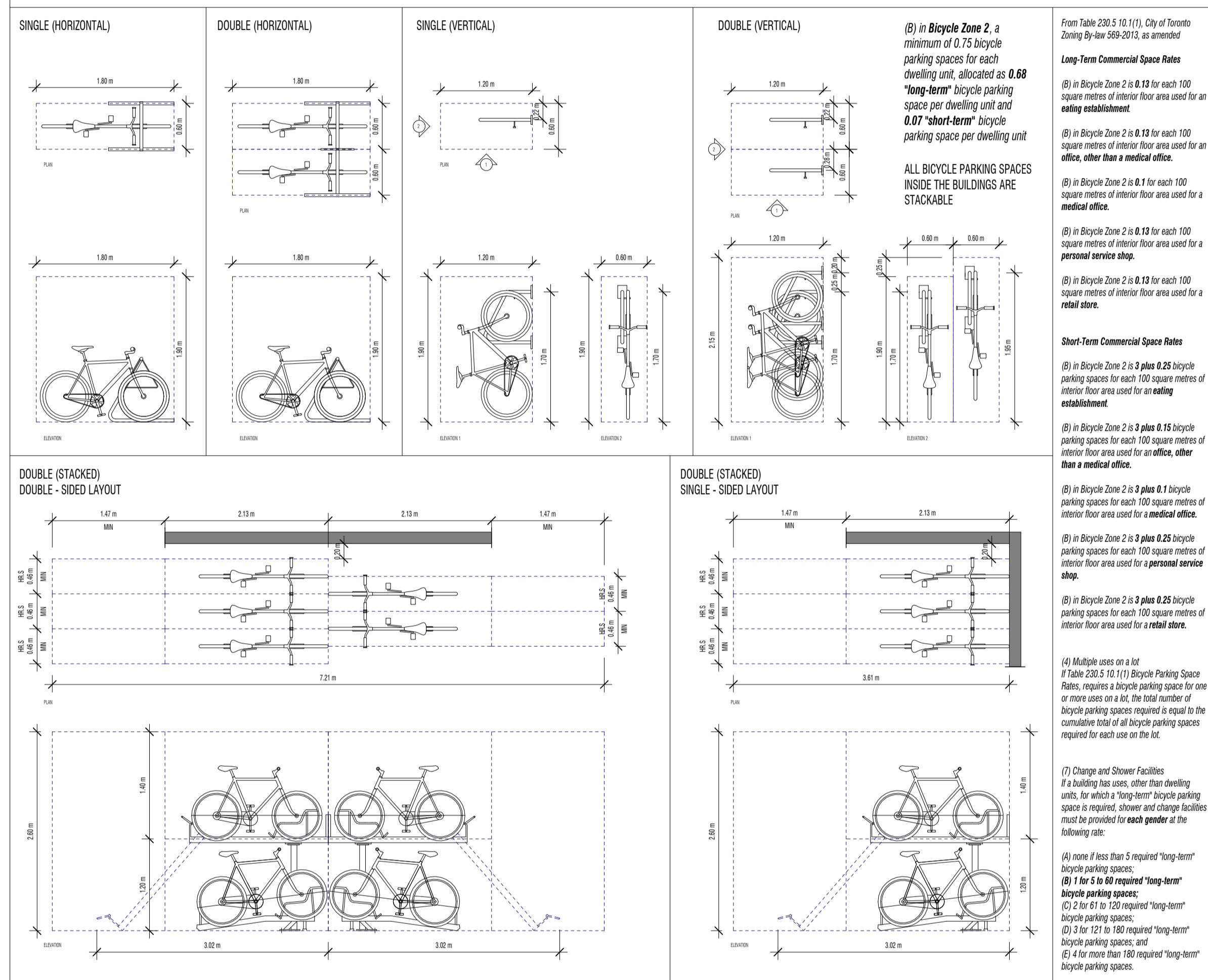


- LEGEND**
- 1 GREY - CANADIAN GOVERNMENT SPEC. BOARD STANDARD PAINT COLOUR NO. 503-026
 - 2 YELLOW - CANADIAN GOVERNMENT SPEC. BOARD STANDARD PAINT COLOUR NO. 505-201
 - 3 WHITE - STANDARD PAINT COLOURS 1 - GP - 100
 - 4 BLACK - STANDARD PAINT COLOURS 1 - GP - 100
 - 5 GREEN - CANADIAN GOVERNMENT SPEC. BOARD STANDARD PAINT COLOUR NO. 503-226
 - 6 HELVETICA BOLD CONDENSED

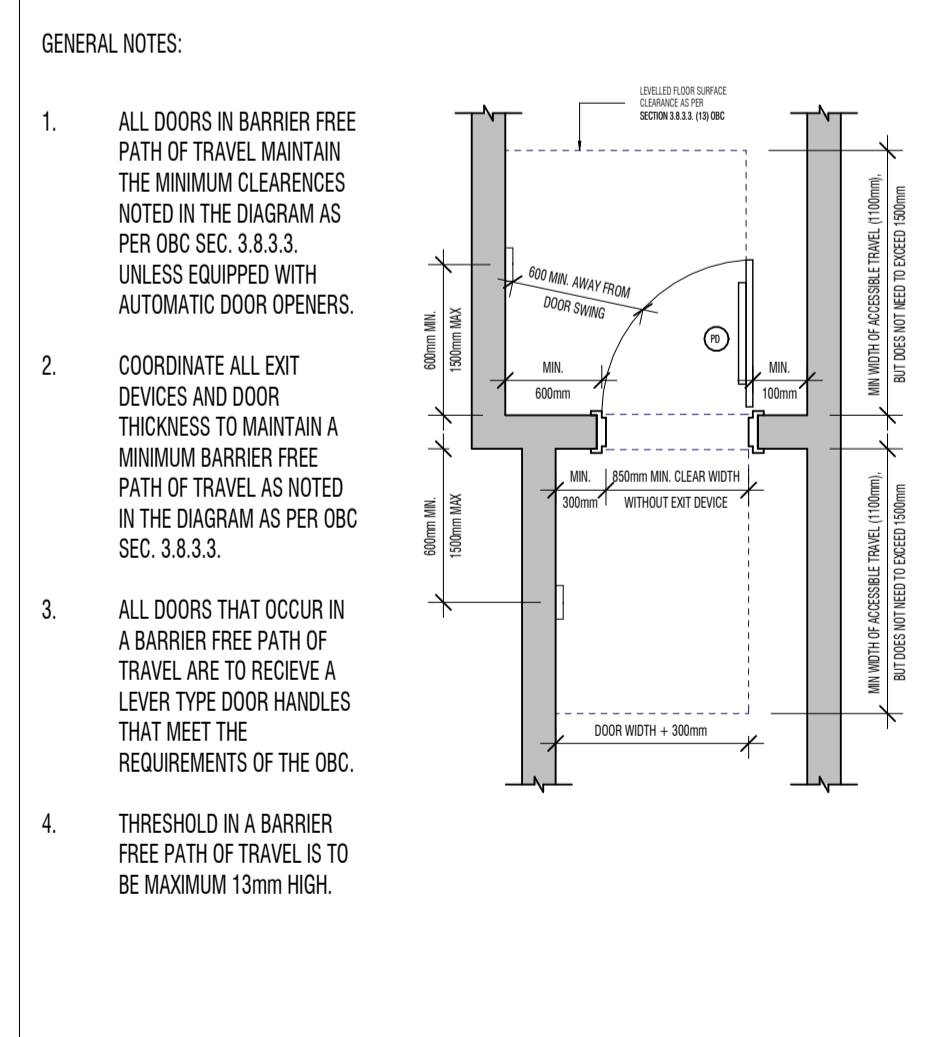


- ALERT SIGN**
- CONVEX MIRROR**
- CONVEX MIRRORS, IN ADDITION TO THOSE SHOWN ON PLANS, ARE TO BE INSTALLED AND MAINTAINED BY THE OWNER(S) AT ALL RIGHT-ANGLED TURNS AND POSITIONED IN SUCH A MANNER AS TO PROVIDE MOTORISTS WITH CLEAR VIEWS OF ONCOMING TRAFFIC.
 - SLOPES AROUND BASE OF COLUMNS AT PARKING LEVELS
- LOCAL SLOPE OF 2% IN THE SLAB AT THE BASE OF ALL INTERMEDIATE COLUMNS TO BE PROVIDED WITH A MIN. RISE OF 30mm AT THE BASE AS SHOWN HERE

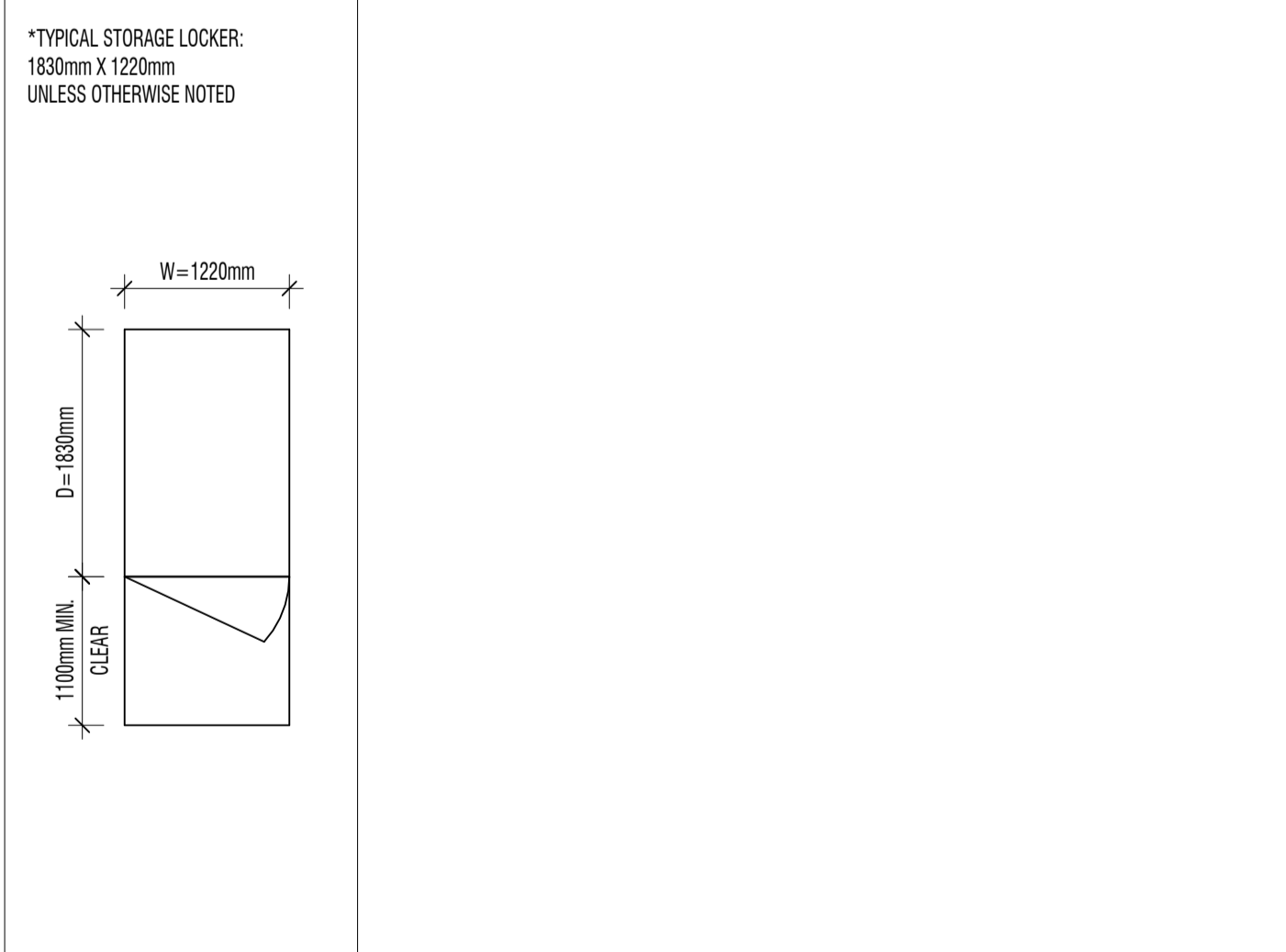
BICYCLE STORAGE



BARRIER FREE DOORS



STORAGE LOCKERS



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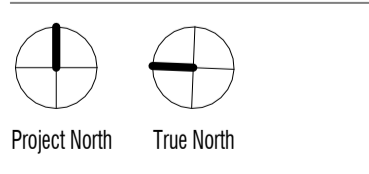
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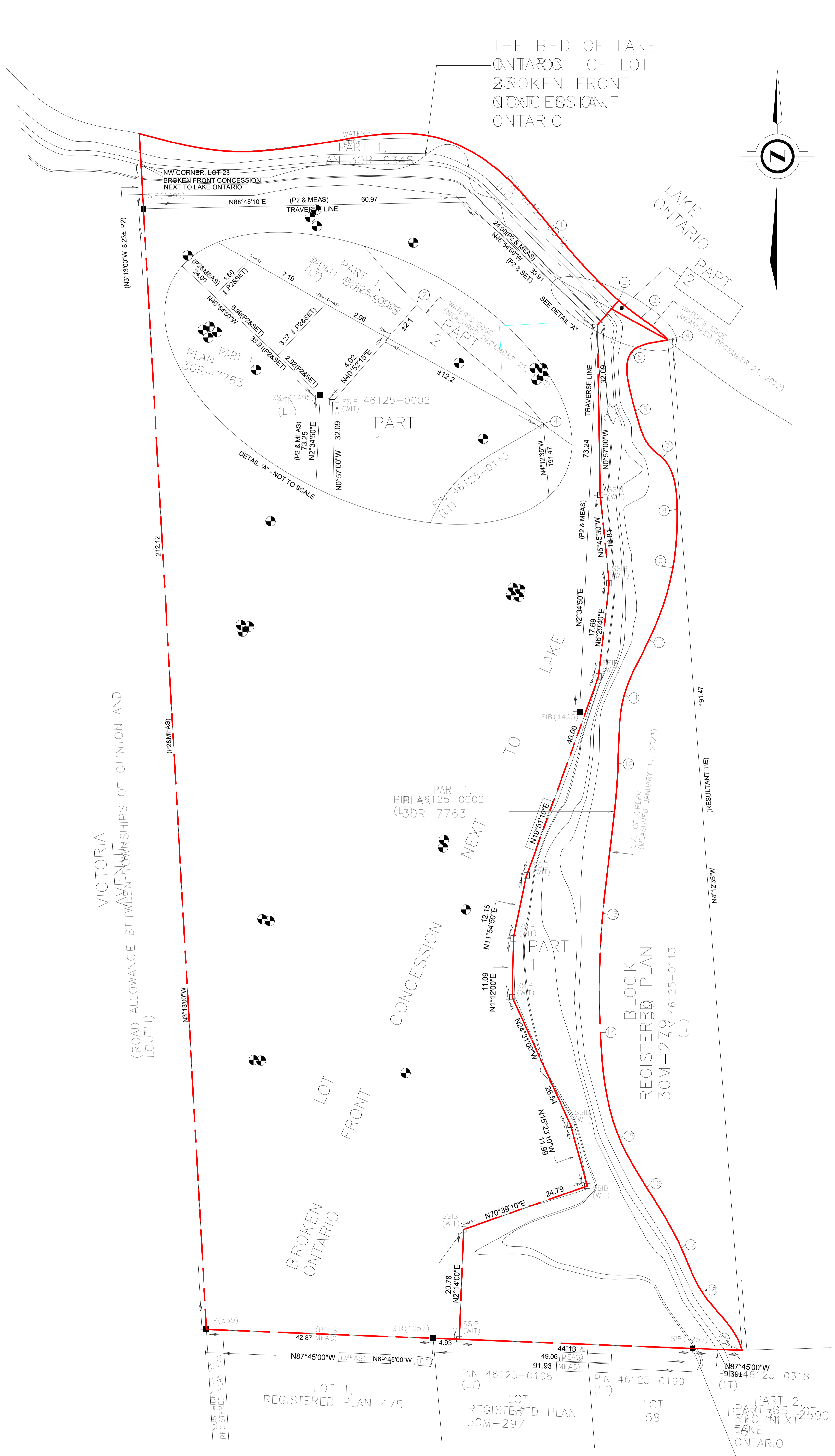
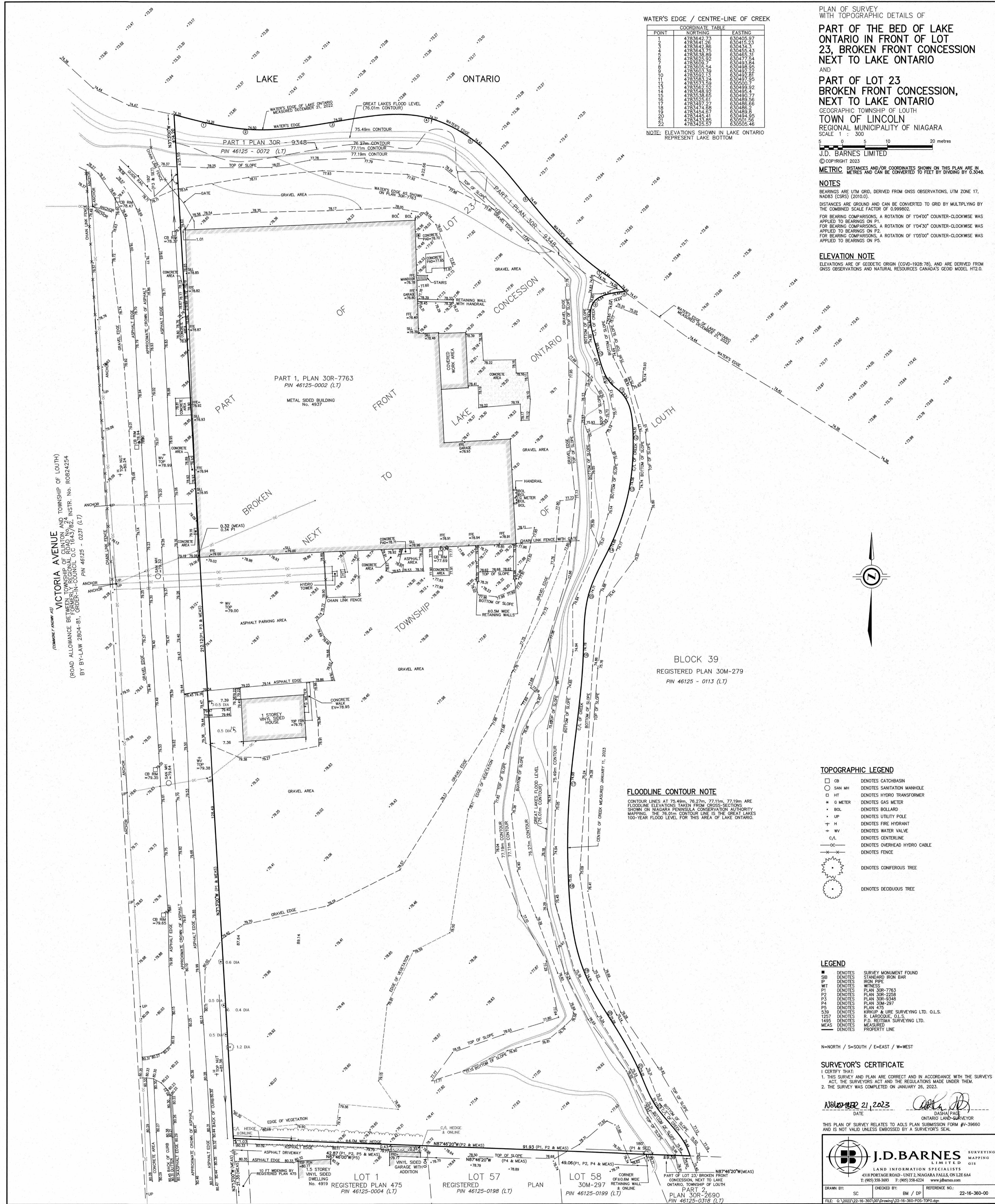
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SCALE As indicated
PROJECT NO. 202302
ISSUE DATE APRIL, 26, 2024

PROJECT STATISTICS

A002



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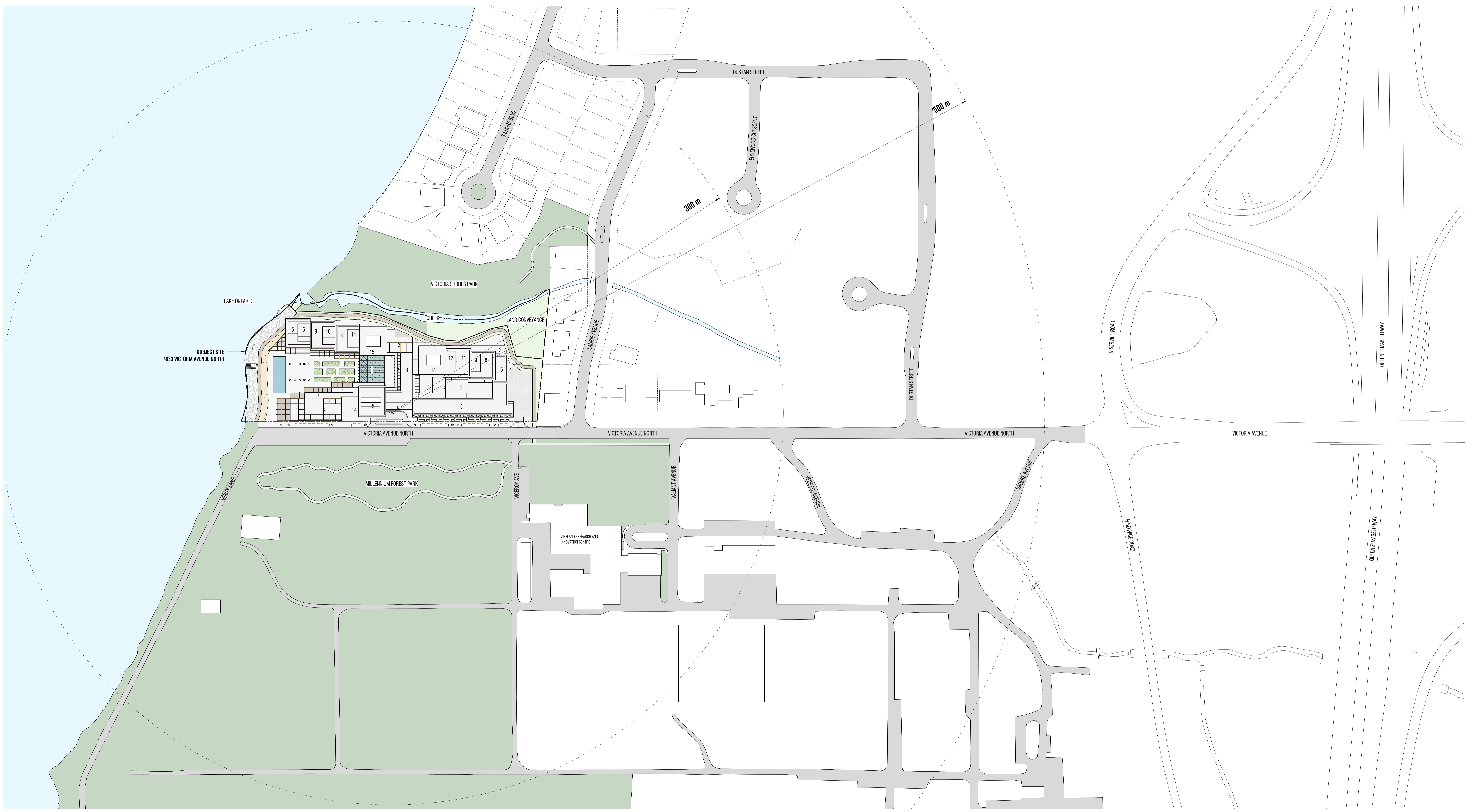
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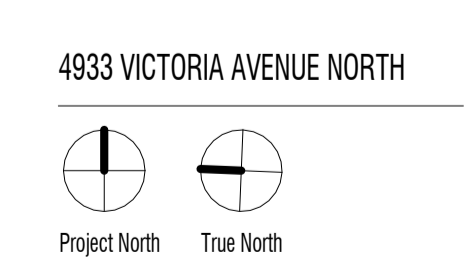
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CONTEXT PLAN



KEY PLAN

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2 ROOF SITE PLAN
 A301 A103 1:400

1.0 SUMMARY

TOTAL SITE AREA	19,348.3 m ²
NET SITE AREA	16,299.1 m ²
LAND CONVEYANCE PART 1	3,035.7 m ²
LAND CONVEYANCE PART 2	13.5 m ²

2.0 BUILDING HEIGHTS

Building A:	50.8 m (15 Storeys)
Building B:	48.3 m (15 Storeys)
Building C:	47.8 m (14 Storeys)
Building C TOWN:	18.3 m (5 Storeys)

COVERAGE

BUILDING COVERAGE	8502 m ²
PERCENTAGE OF NET SITE AREA	52.1%

PARKING & LOADING

PARKING SUMMARY				
RESIDENTIAL	VISITOR	OUTDOOR VISITOR	STREET	Total Car Parking
427	197	13	21	658

LOADING SUMMARY	
Type	Count
TYPE 'G' LOADING	1
TYPE 'B' LOADING	1
TYPE 'C' LOADING	3

LANDSCAPED AREA

LANDSCAPED AREA SUMMARY	
Designated P.O.P.S.	Area
DESIGNATED P.O.P.S.	1797 m ²
PUBLIC LANDSCAPED AREA	2638 m ²
TOTAL	4435 m ²

PERCENTAGE OF NET SITE AREA 27.2%

*WITH REFERENCE TO THE TOWN OF LINCOLN COMPREHENSIVE ZONING BY-LAW NO.2022-50, SECTION 2.151: LANDSCAPED AREA OR LANDSCAPED STRIP means a permeable area not built upon and not used for any purpose other than as a landscaped area which may include grass, shrubs, flowers, trees and similar types of vegetation and decorative paths, decorative walkways, fences and similar appurtenances, but does not include parking areas, driveways, service walkways or ramps. The words "landscaping" and "landscaped" shall have the same meaning.

TOTAL GFA - 46,941 m²
 FSI - 2.88

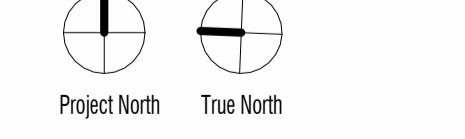
PROPOSED BUILDING SUMMARY		
BUILDING	BUILDING TYPE	TOTAL GFA (m ²)
BELOW-GRADE NON-PARKING		2,156 m ²
BLDG 'A'	RESIDENTIAL	15,354 m ²
BLDG 'B'	HOTEL & RETAIL	12,715 m ²
BLDG 'C'	RESIDENTIAL	16,716 m ²
TOTAL		46,941 m ²

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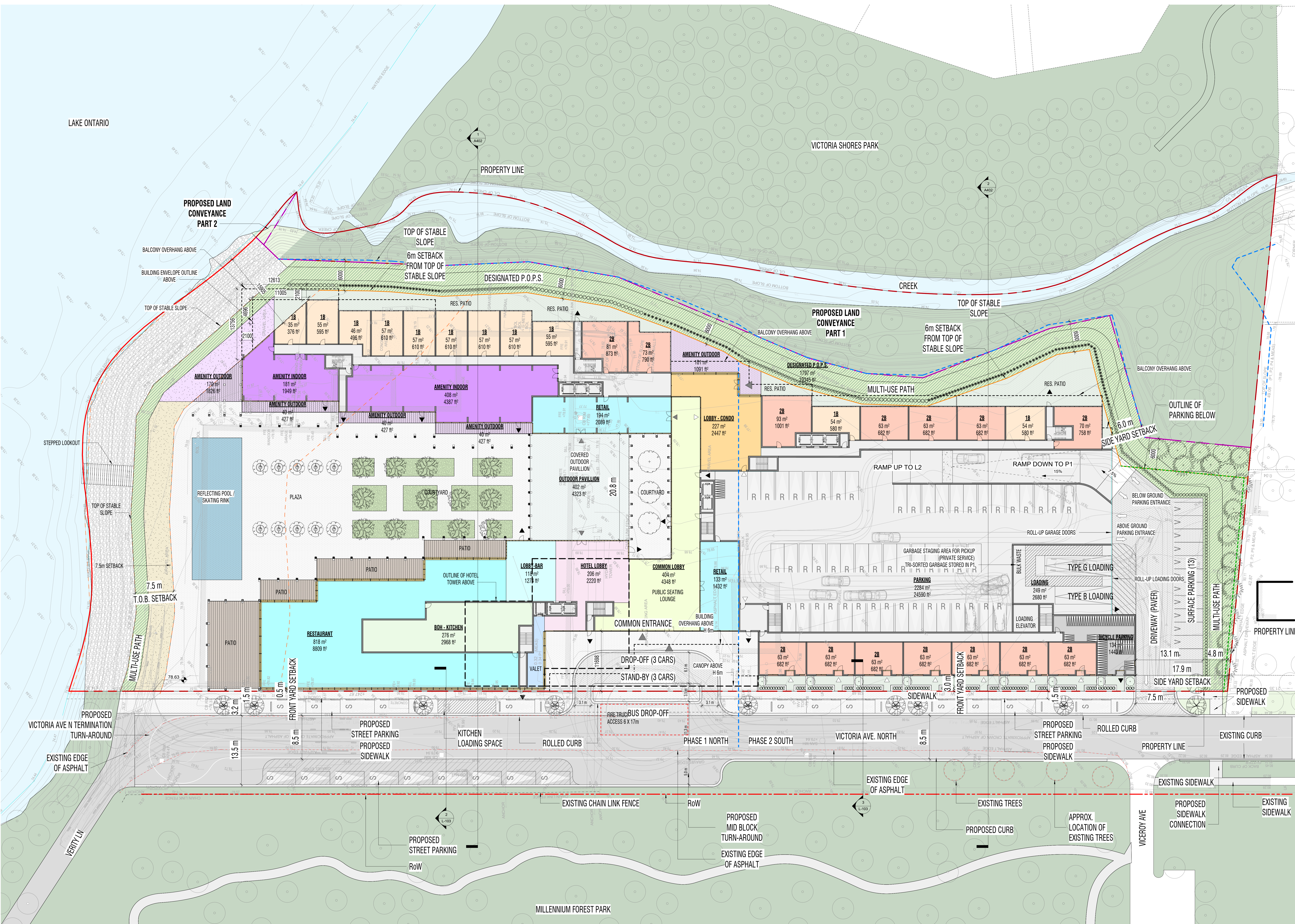


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ROOF SITE PLAN

- A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANUEVER BINS FOR THE COLLECTION VEHICLE AND ALSO ACT AS A SIGNALMAN WHEN THE TRUCK IS REVERSING... TYPE G LOADING 6m MINIMUM VERTICAL CLEARANCE... A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING SPACES...

Table with 3 columns: Description, Required, Proposed. Contains zoning regulations for various building types and uses, including parking ratios, setbacks, and landscaping requirements.



1.0 SUMMARY: TOTAL SITE AREA 19,348.3m², NET SITE AREA 16,299.1m². 2.0 BUILDING HEIGHTS: Building A: 50.8 m (15 Storeys), Building B: 48.3 m (15 Storeys), Building C: 47.8 m (14 Storeys), Building C TOWN: 18.3 m (5 Storeys). COVERAGE: BUILDING COVERAGE 8502m², PERCENTAGE OF NET SITE AREA 52.1%.

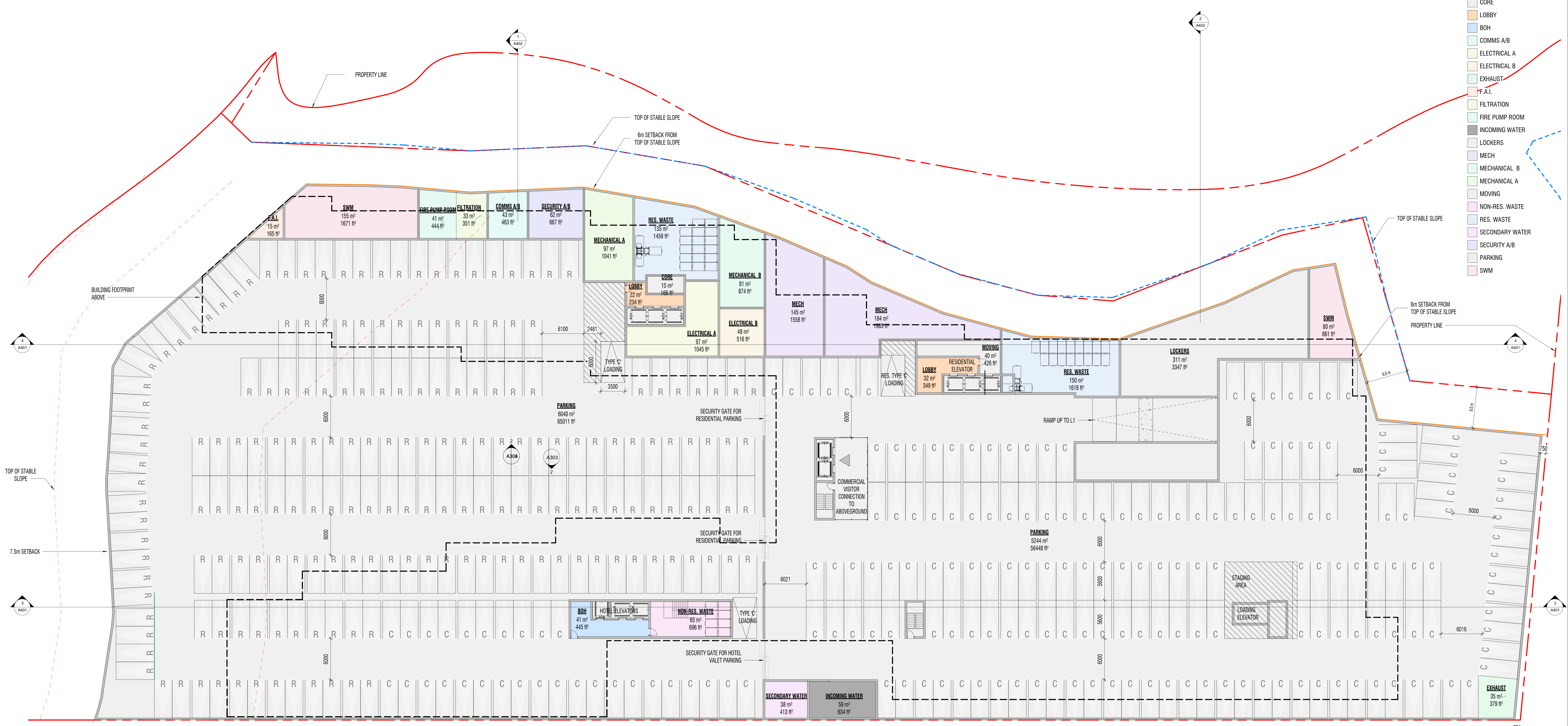
SITE PLAN LEGEND: PROPERTY LINE, TOP OF SLOPE, 6m SETBACK, etc. Includes symbols for canopy trees, underground trees, and various paving materials like concrete and interlocking bricks.

KEY PLAN: Overview map showing the project location relative to Victoria Ave North and Millennium Forest Park. Includes a scale bar and north arrow.

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- AREA TYPES**
- CORE
 - LOBBY
 - BOH
 - COMMS A/B
 - ELECTRICAL A
 - ELECTRICAL B
 - EXHAUST
 - F.A.I.
 - FILTRATION
 - FIRE PUMP ROOM
 - INCOMING WATER
 - LOCKERS
 - MECH
 - MECHANICAL B
 - MECHANICAL A
 - MOVING
 - NON-RES. WASTE
 - RES. WASTE
 - SECONDARY WATER
 - SECURITY A/B
 - PARKING
 - SWM



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**LEVEL P1
 FLOOR PLAN**

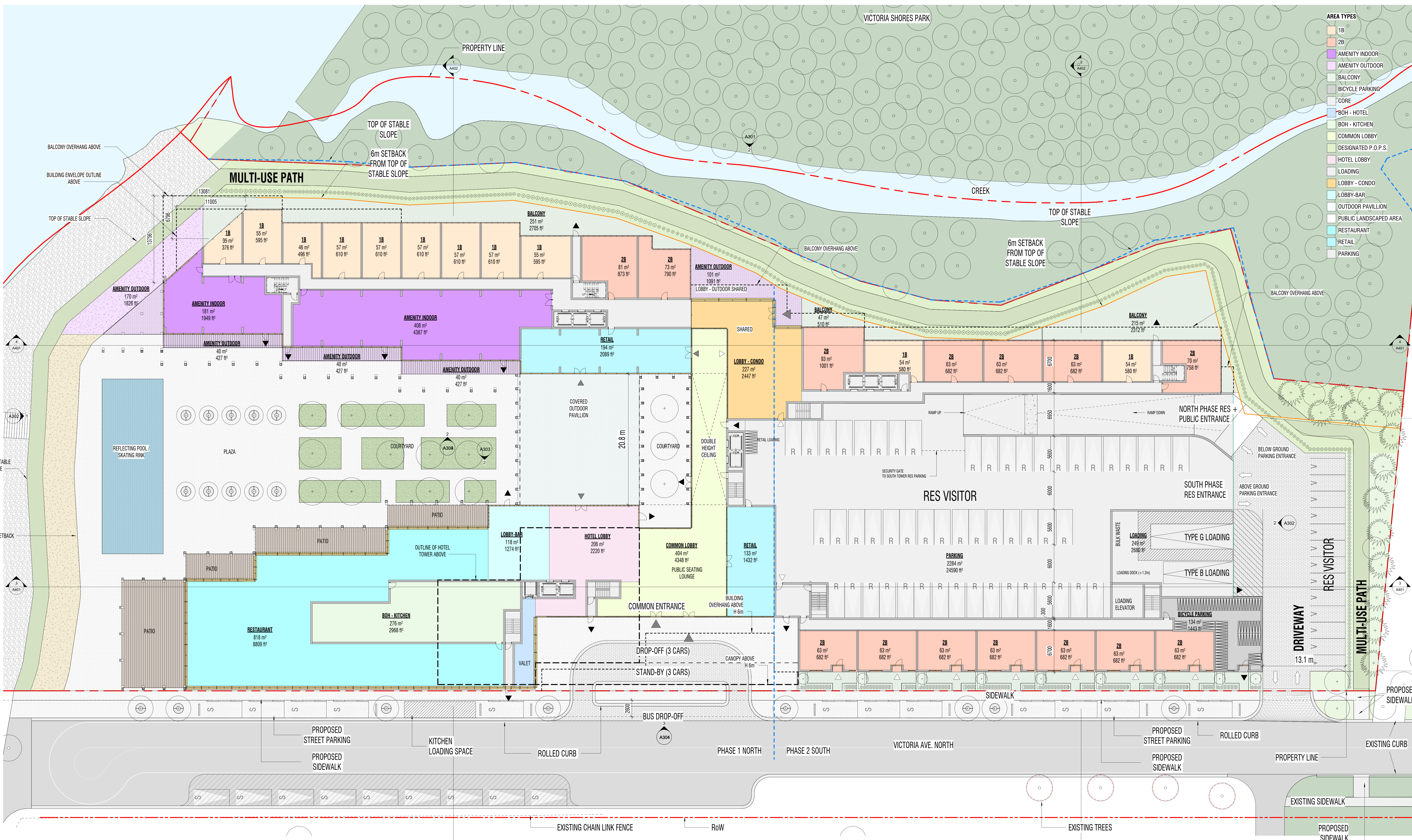
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1 Level 1 Floor Plan
A301 A201 1:200

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Project North True North

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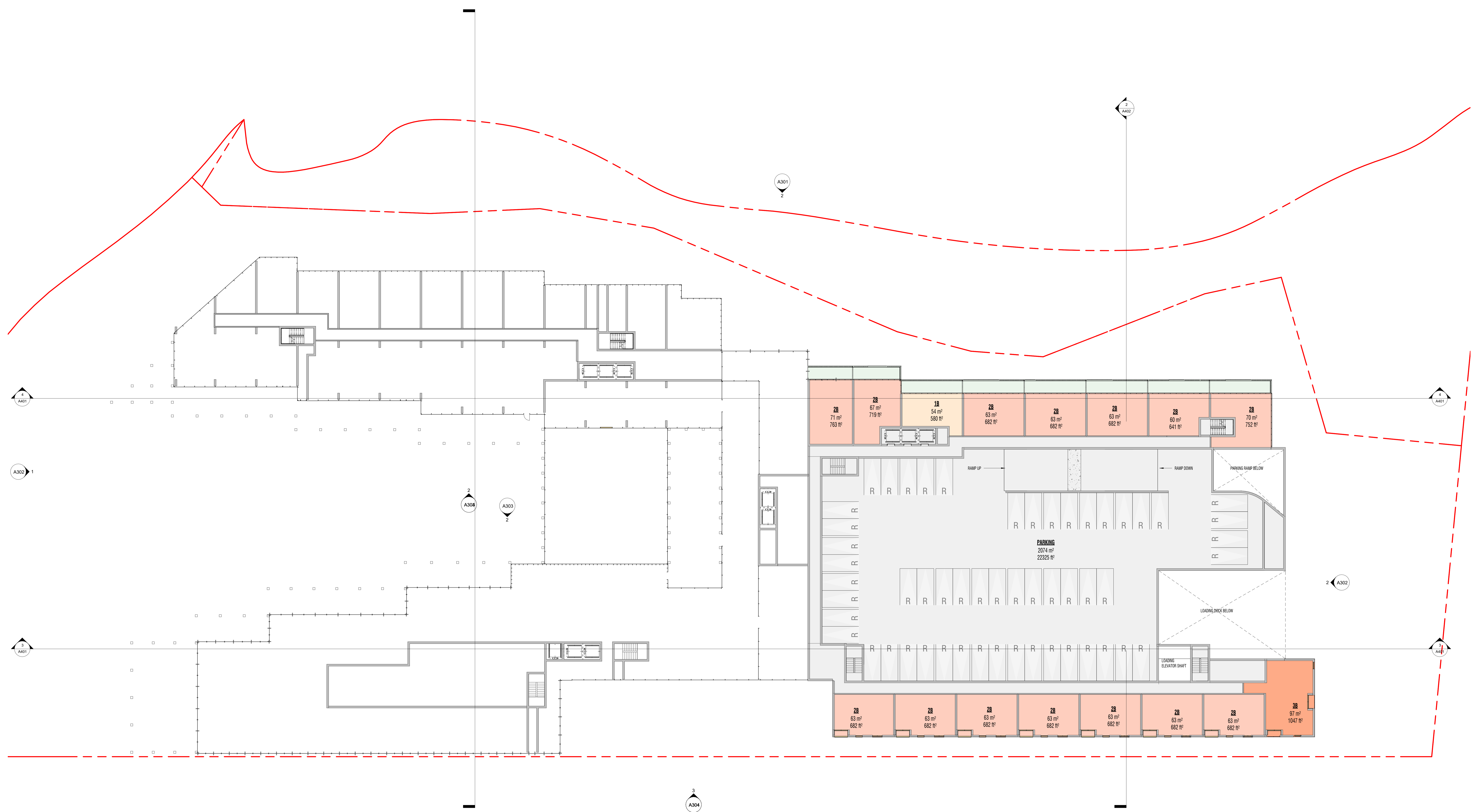
LEVEL 1 FLOOR PLAN

A201

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1 Level 1M Floor Plan
 A301 A201M 1 : 200

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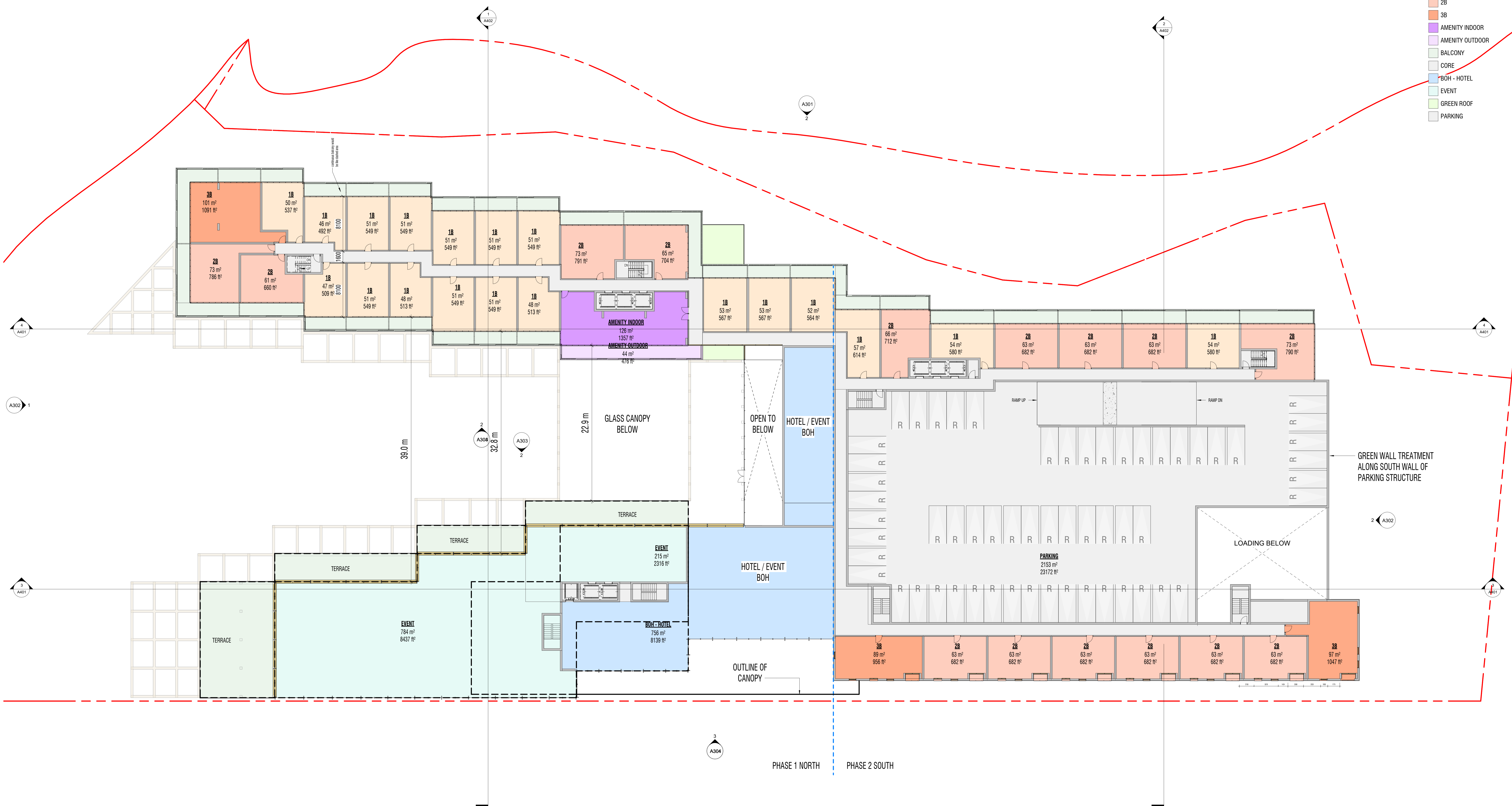
**LEVEL 1M
 FLOOR PLAN**

A201M

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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - AMENITY INDOOR
 - AMENITY OUTDOOR
 - BALCONY
 - CORE
 - BOH - HOTEL
 - EVENT
 - GREEN ROOF
 - PARKING



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Project North True North

SCALE 1:200
 PROJECT NO. 202302
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LEVEL 2 FLOOR PLAN

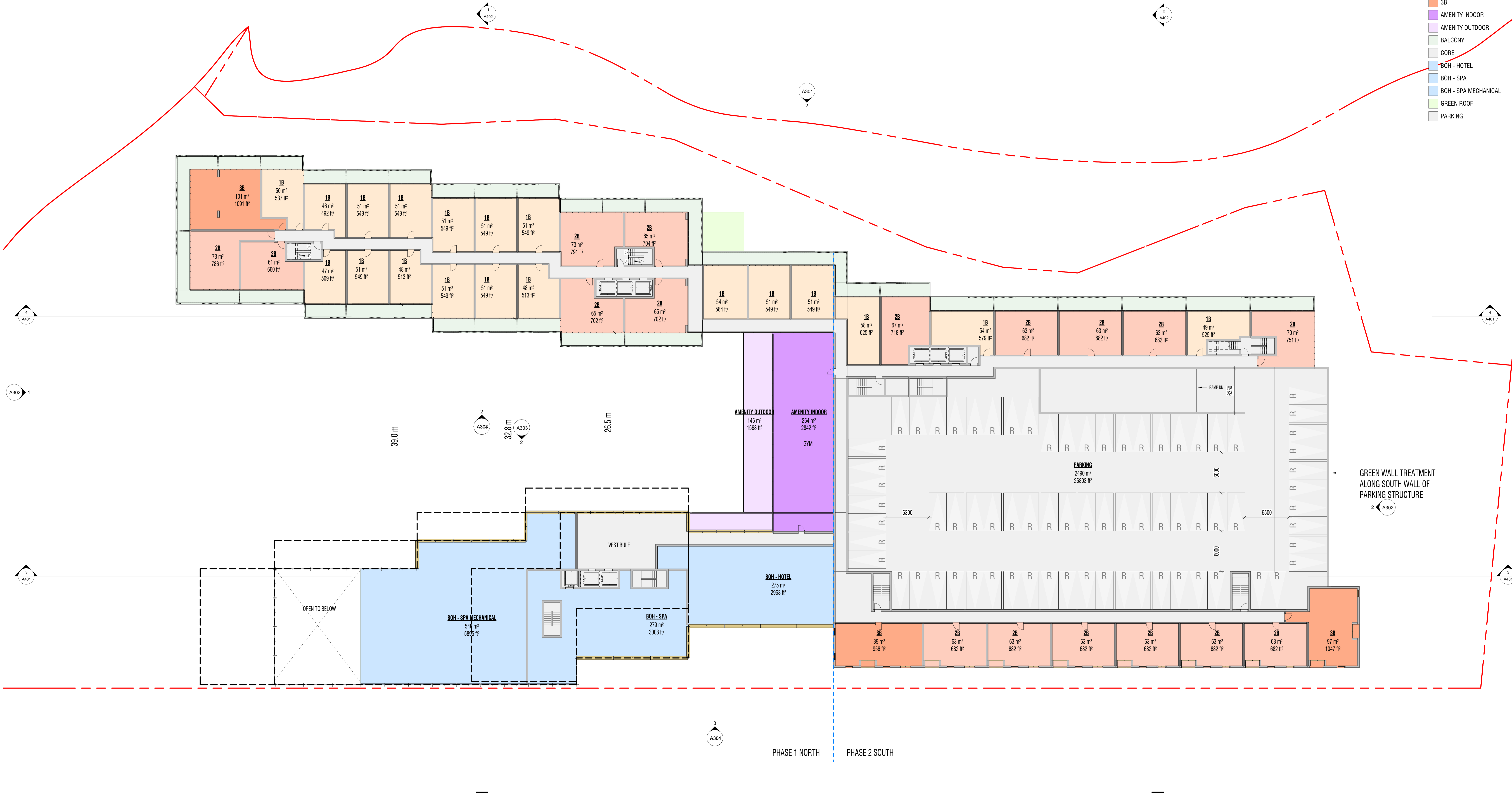
A202

1 Level 2 Floor Plan
 A301 A202 1:200

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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - AMENITY INDOOR
 - AMENITY OUTDOOR
 - BALCONY
 - CORE
 - BOH - HOTEL
 - BOH - SPA
 - BOH - SPA MECHANICAL
 - GREEN ROOF
 - PARKING



1 Level 3 Floor Plan
 A301 A203 1:200

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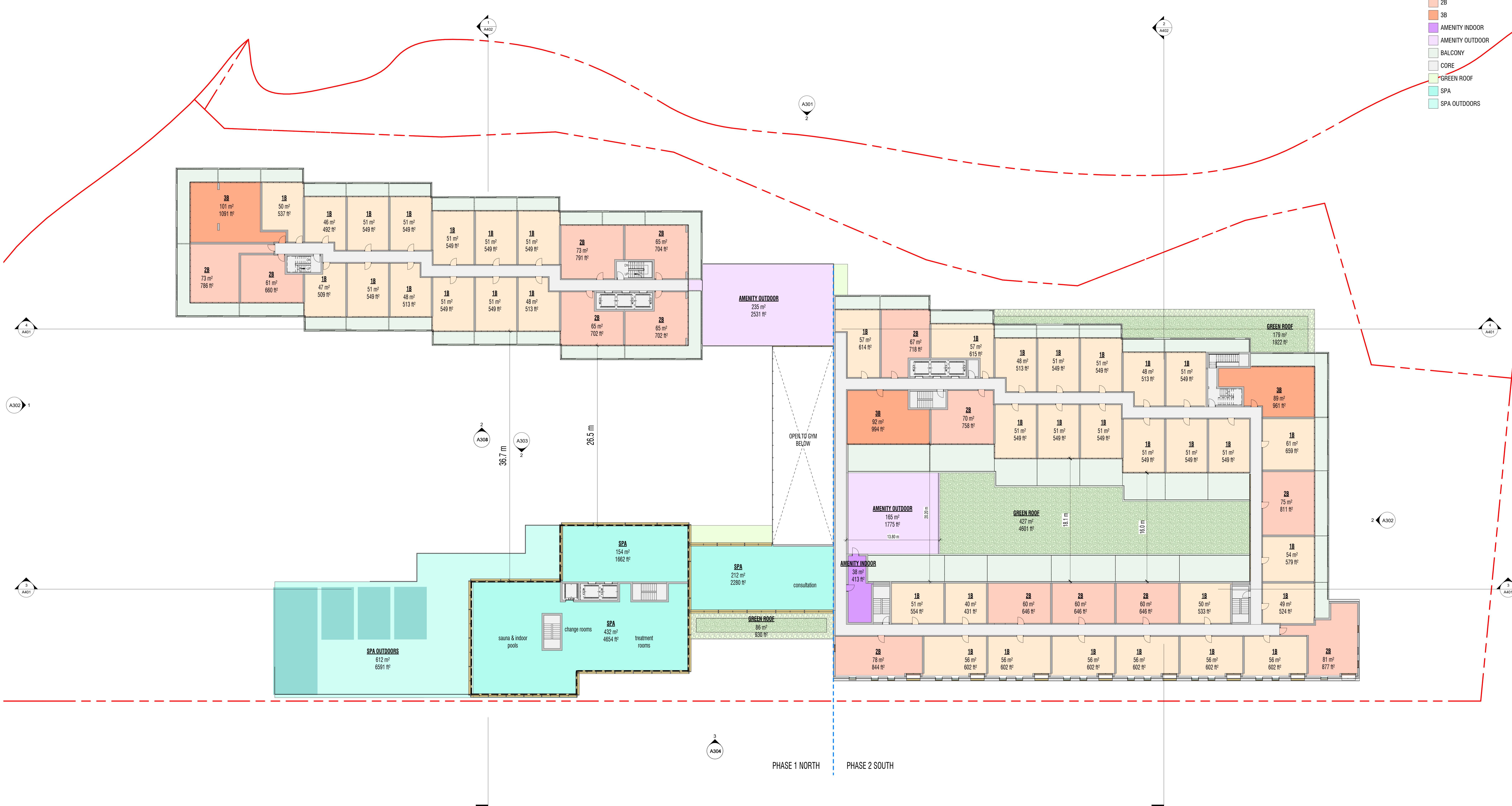
LEVEL 3 FLOOR PLAN

A203

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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - AMENITY INDOOR
 - AMENITY OUTDOOR
 - BALCONY
 - CORE
 - GREEN ROOF
 - SPA
 - SPA OUTDOORS



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LEVEL 4 FLOOR PLAN

A204

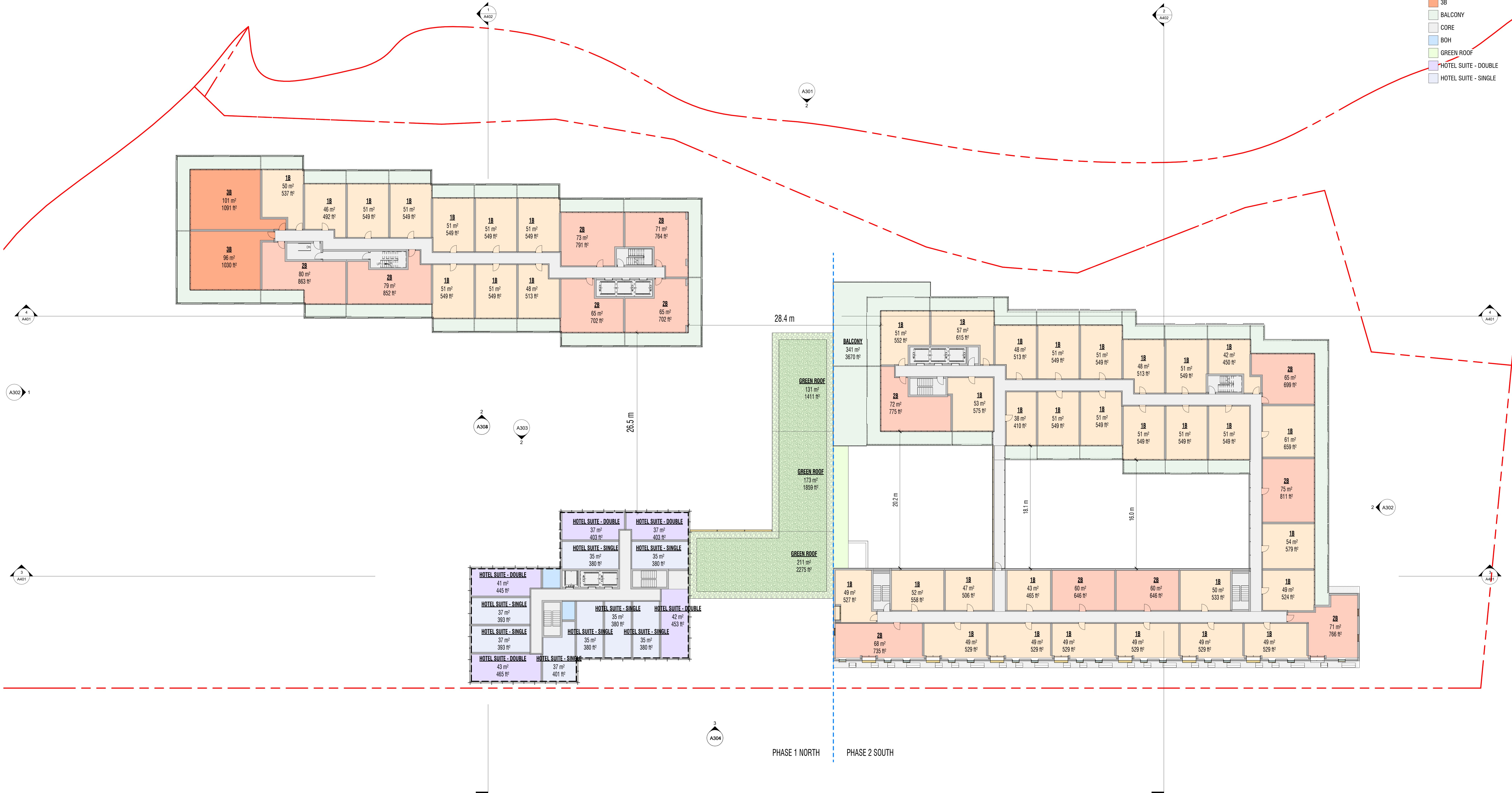
1 Level 4 Floor Plan
 A301 A204 1 : 200

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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - BALCONY
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



1 Level 5 Floor Plan
 A301 A205 1:200

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LEVEL 5 FLOOR PLAN

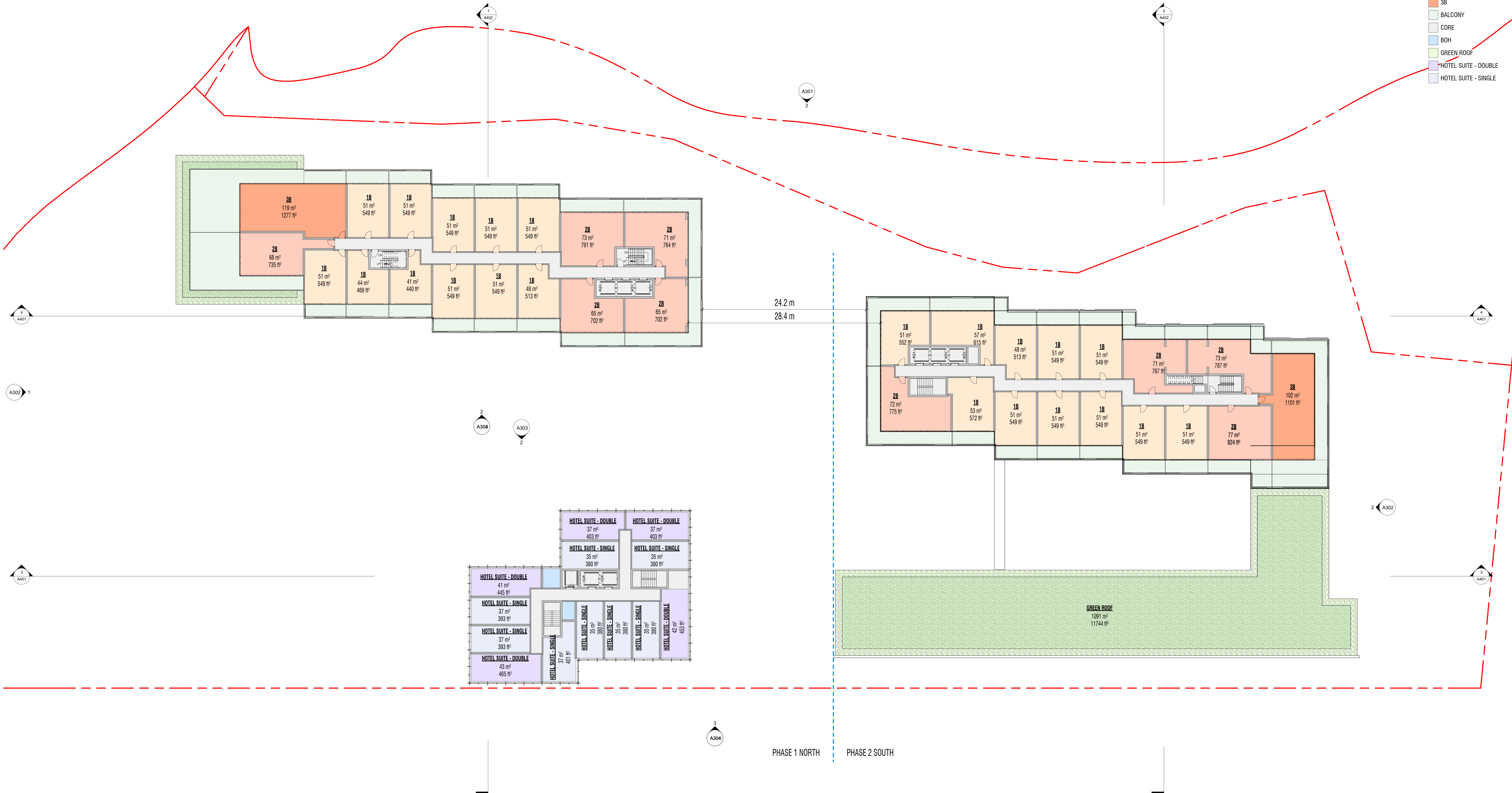
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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - BALCONY
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



1 Level 6 Floor Plan
 A301 A206 1:200

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LEVEL 6 FLOOR PLAN

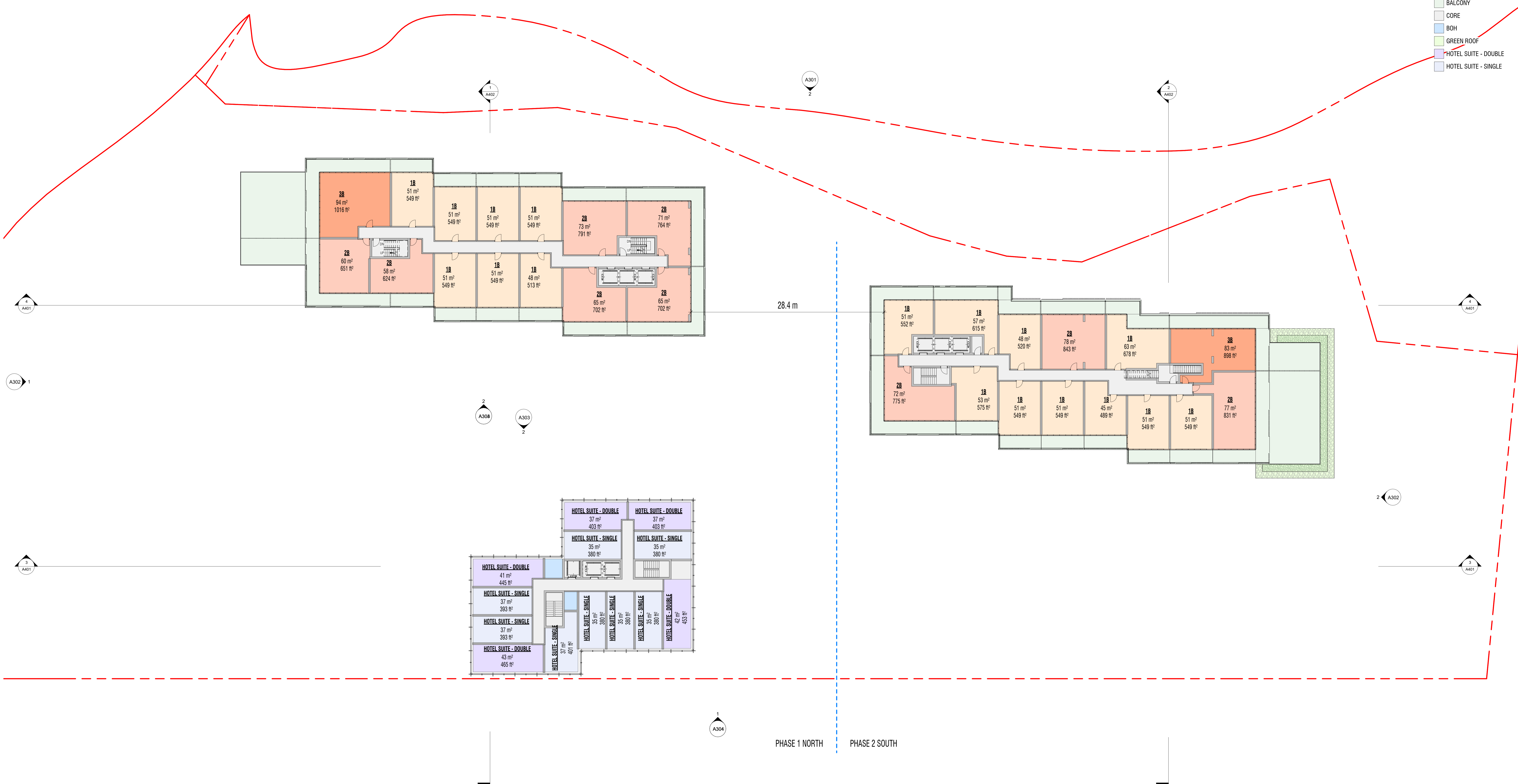
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- AREA TYPES**
- 1B
 - 2B
 - 3B
 - BALCONY
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



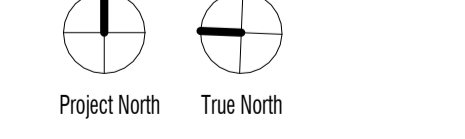
1 Level 7 Floor Plan
 A301 A207 1:200

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LEVEL 7 FLOOR PLAN

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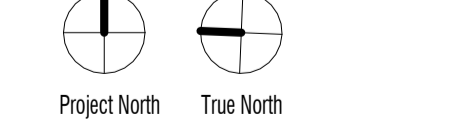
1 Level 8 Floor Plan
 A301 A208 1 : 200

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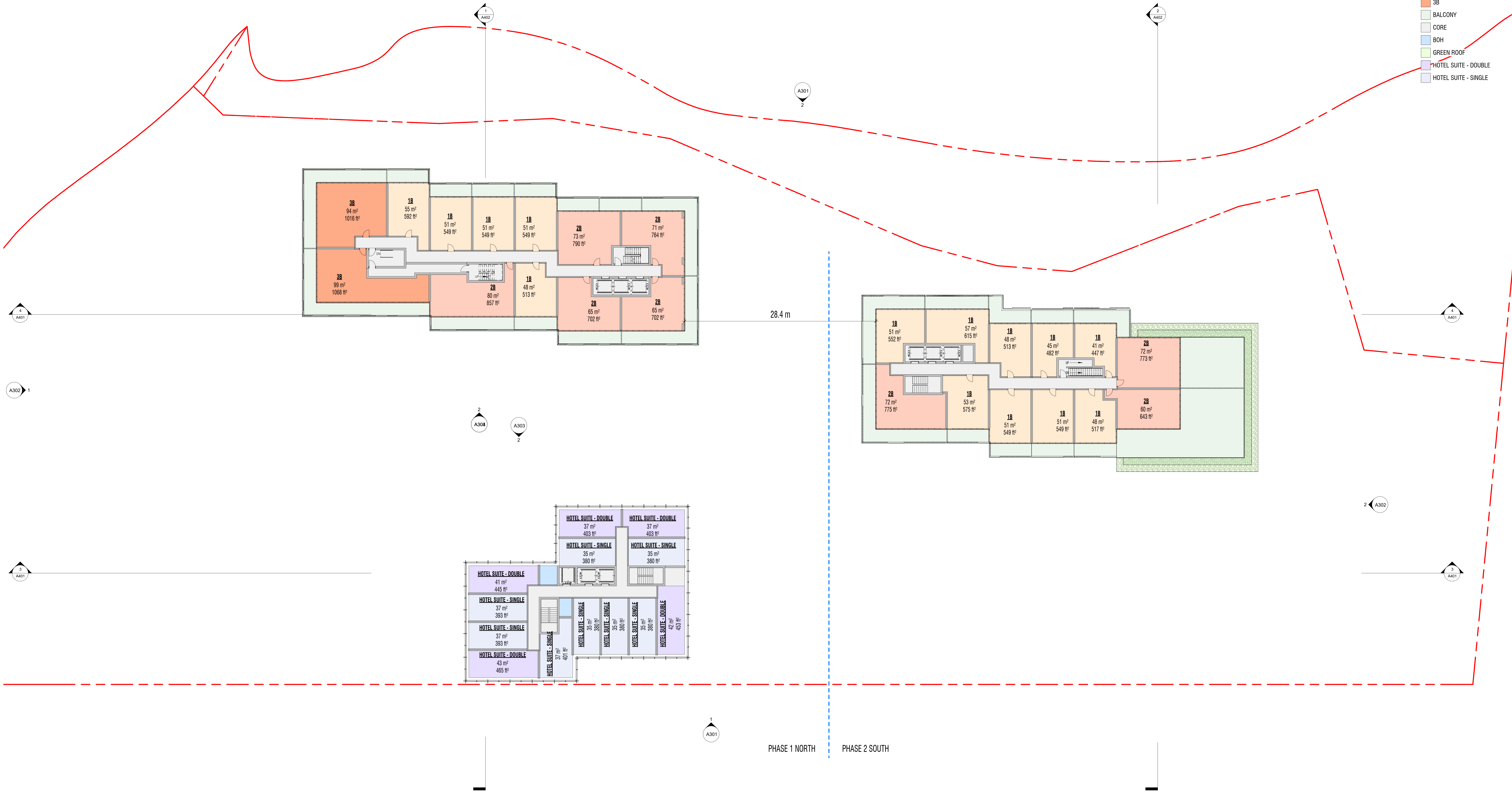
LEVEL 8 FLOOR PLAN

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- 1B
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 - 3B
 - BALCONY
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



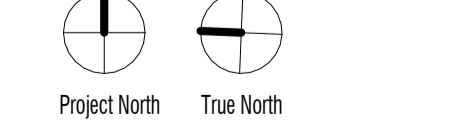
1 Level 9 Floor Plan
 A301 A209 1:200

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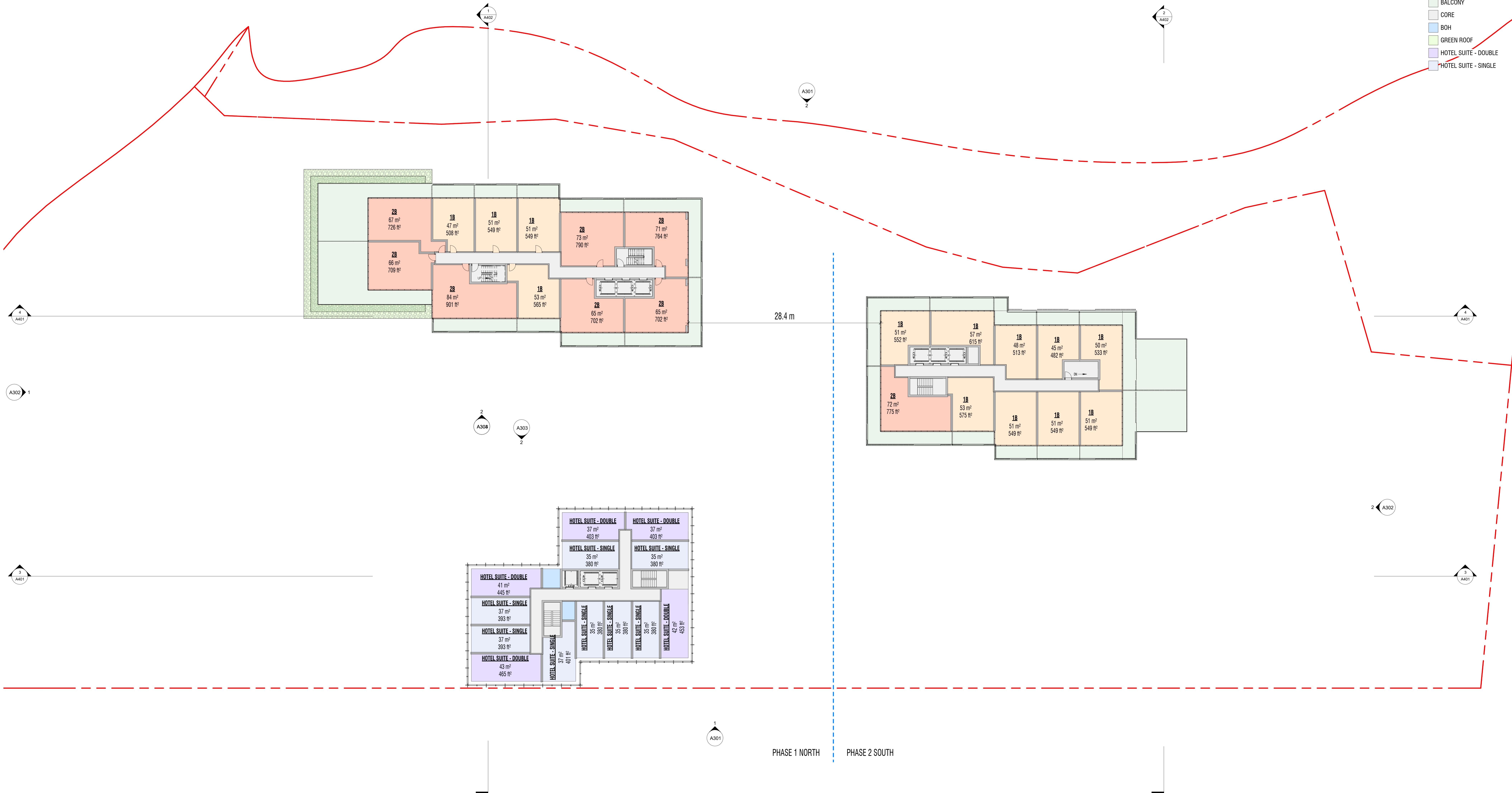
LEVEL 9 FLOOR PLAN

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- AREA TYPES**
- 1B
 - 2B
 - BALCONY
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



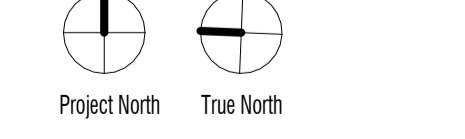
1 Level 10 Floor Plan
 A301 A210 1:200

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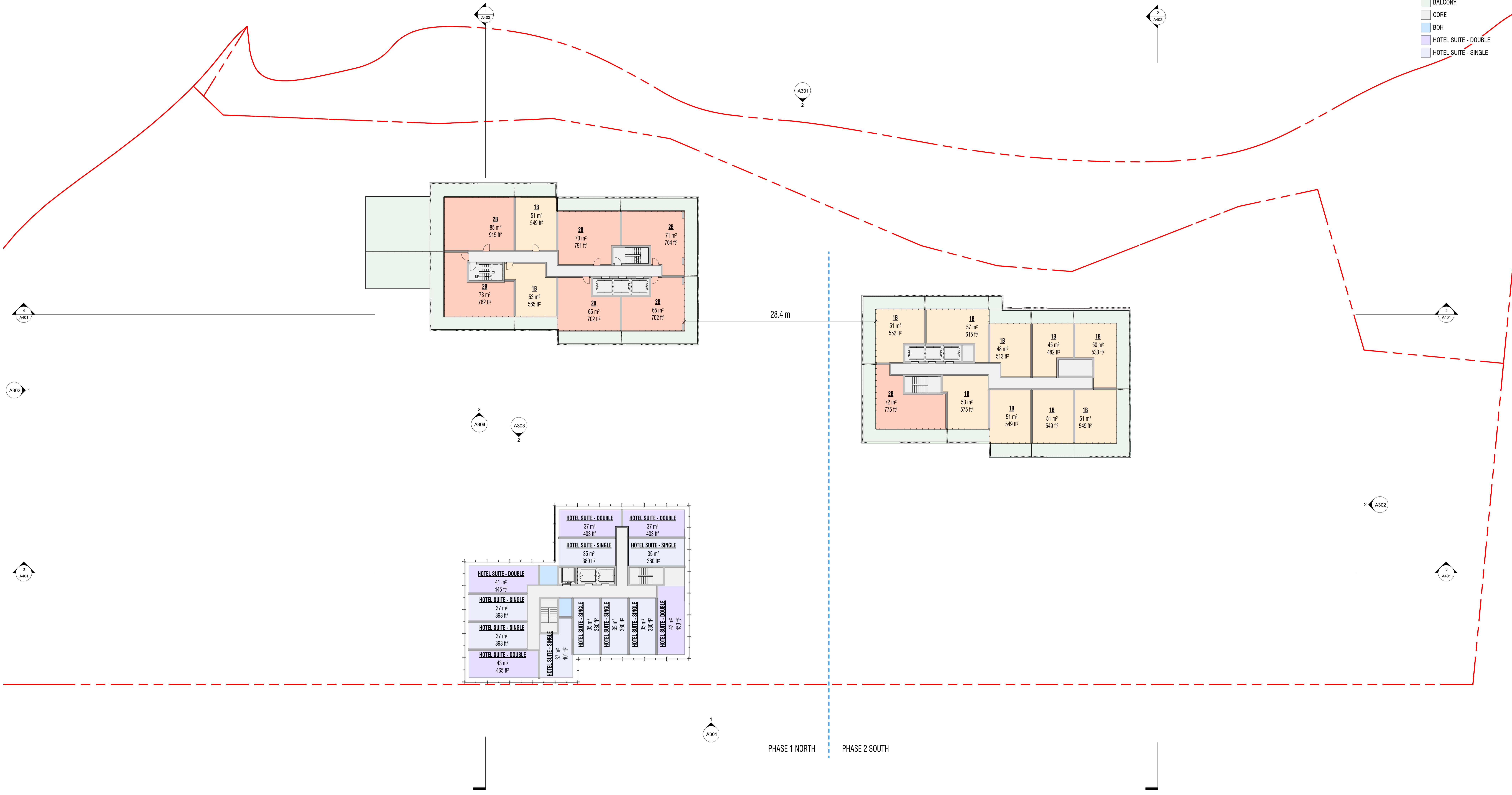
LEVEL 10 FLOOR PLAN

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- AREA TYPES**
- 1B
 - 2B
 - BALCONY
 - CORE
 - BOH
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



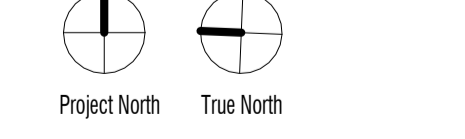
1 Level 11 Floor Plan
 A301 A211 1:200

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**LEVEL 11
 FLOOR PLAN**

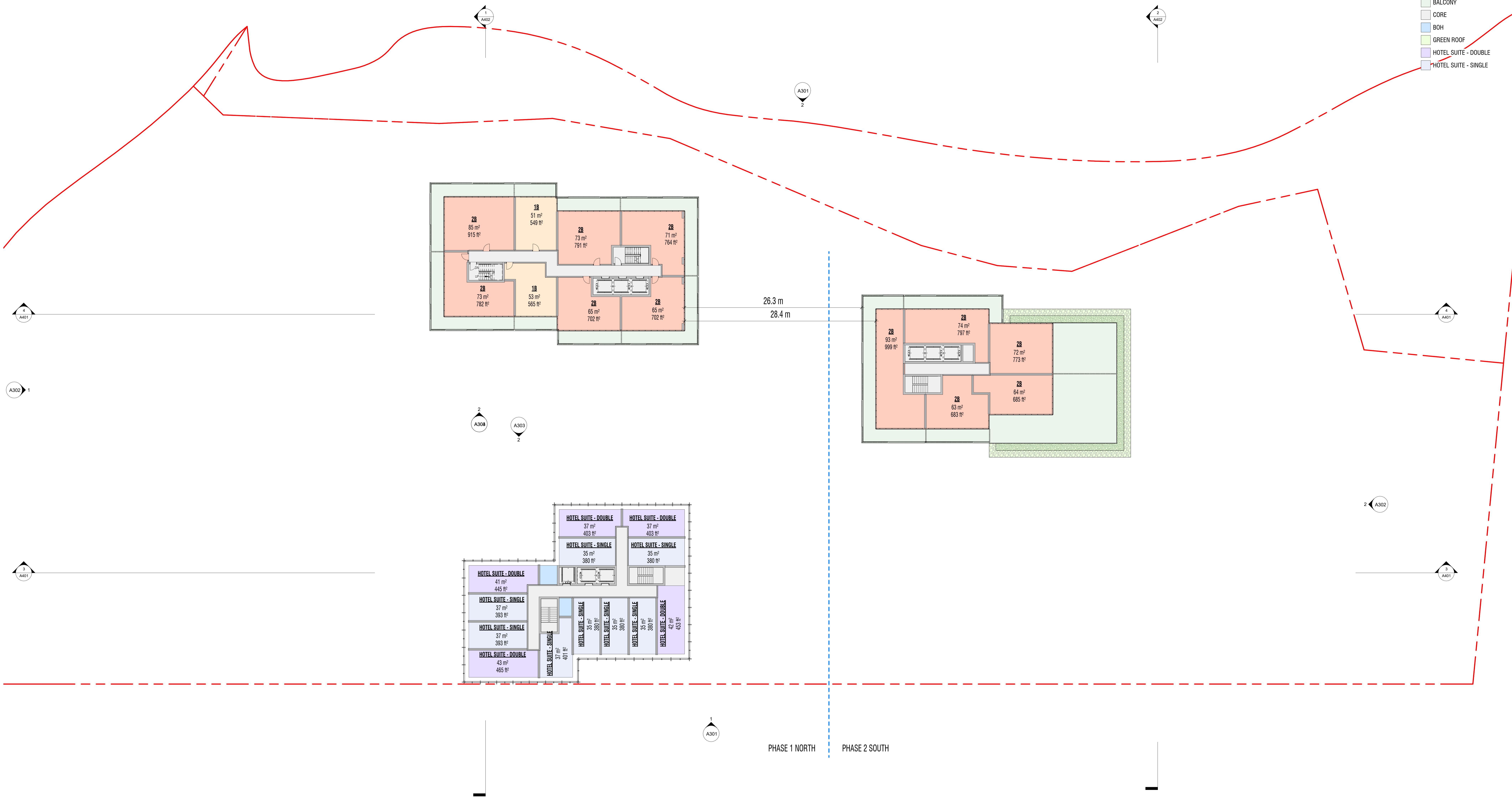
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- AREA TYPES**
- 1B
 - 2B
 - CORE
 - BOH
 - GREEN ROOF
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



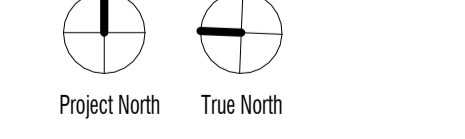
1 Level 12 Floor Plan
 A301 | A212 1 : 200

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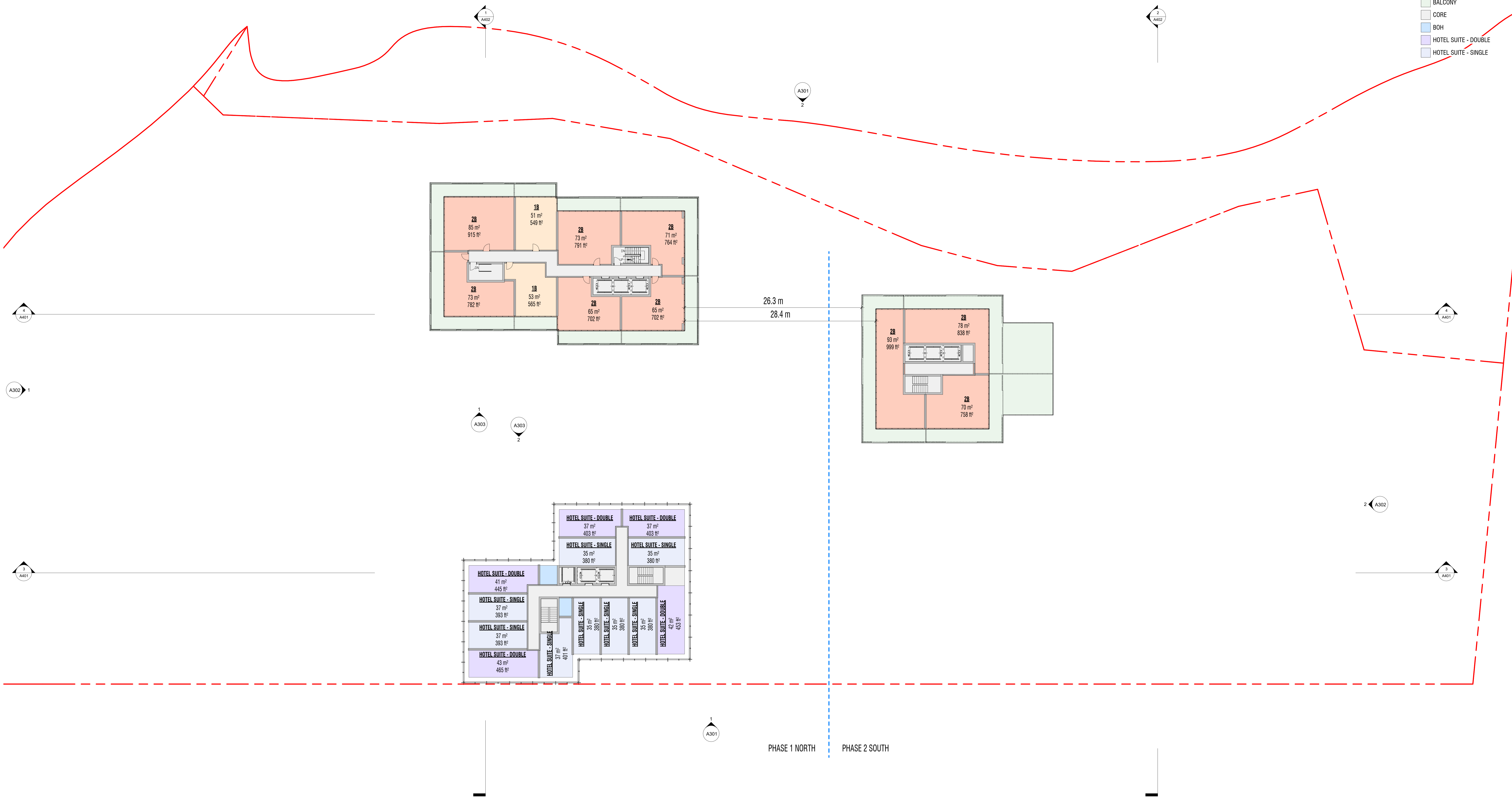
LEVEL 12 FLOOR PLAN

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- AREA TYPES**
- 1B
 - 2B
 - BALCONY
 - CORE
 - BOH
 - HOTEL SUITE - DOUBLE
 - HOTEL SUITE - SINGLE



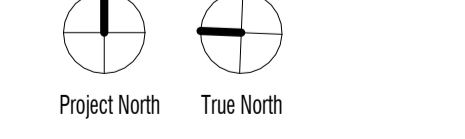
1 Level 13 Floor Plan
 A301 A213 1 : 200

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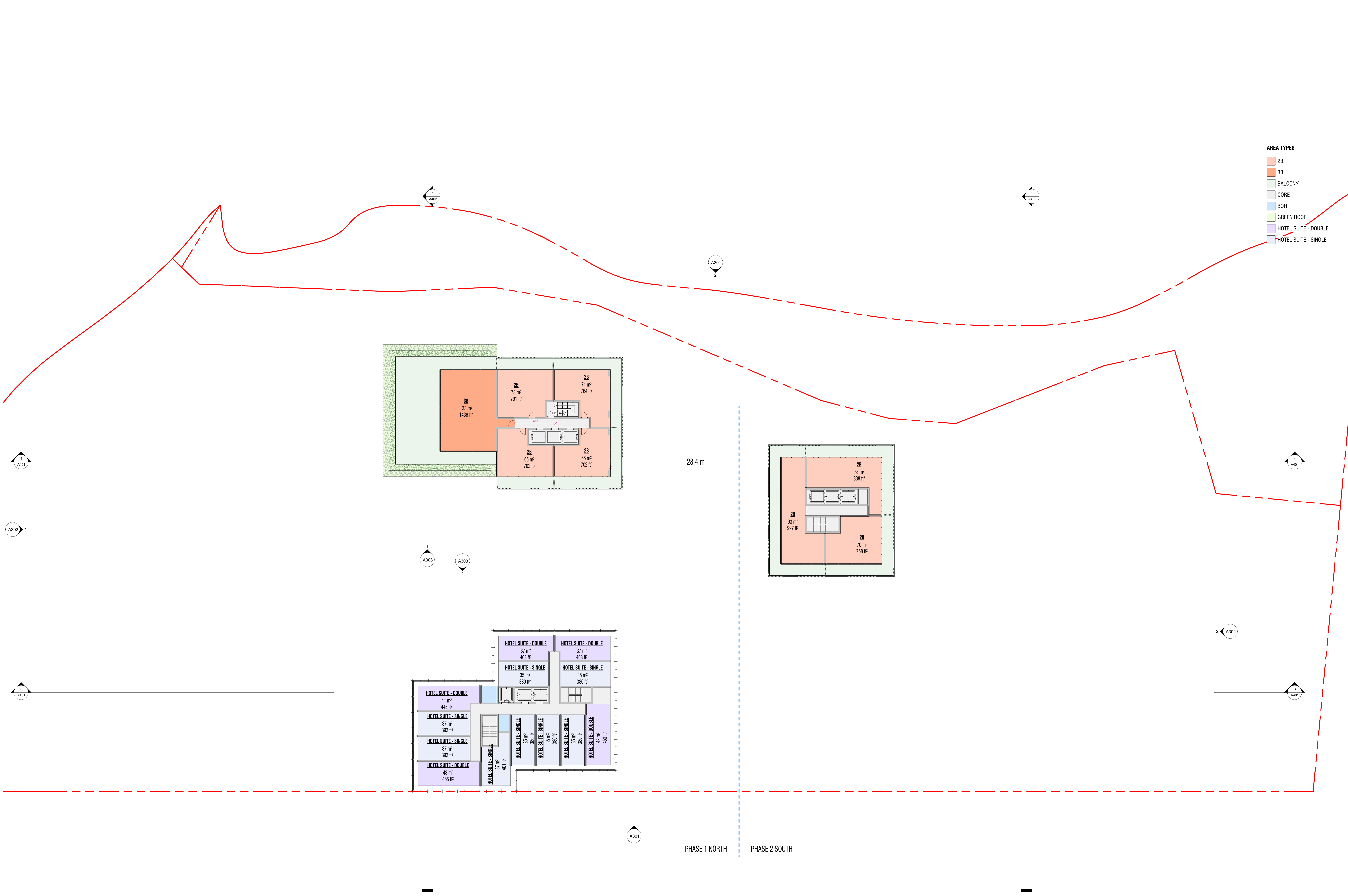
**LEVEL 13
 FLOOR PLAN**

A213

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1 Level 14 Floor Plan
 A301 A214 1:200

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4933 VICTORIA AVENUE NORTH

Project North True North

SCALE 1:200
 PROJECT NO. 202302
 ISSUE DATE APRIL, 26, 2024

LEVEL 14 FLOOR PLAN

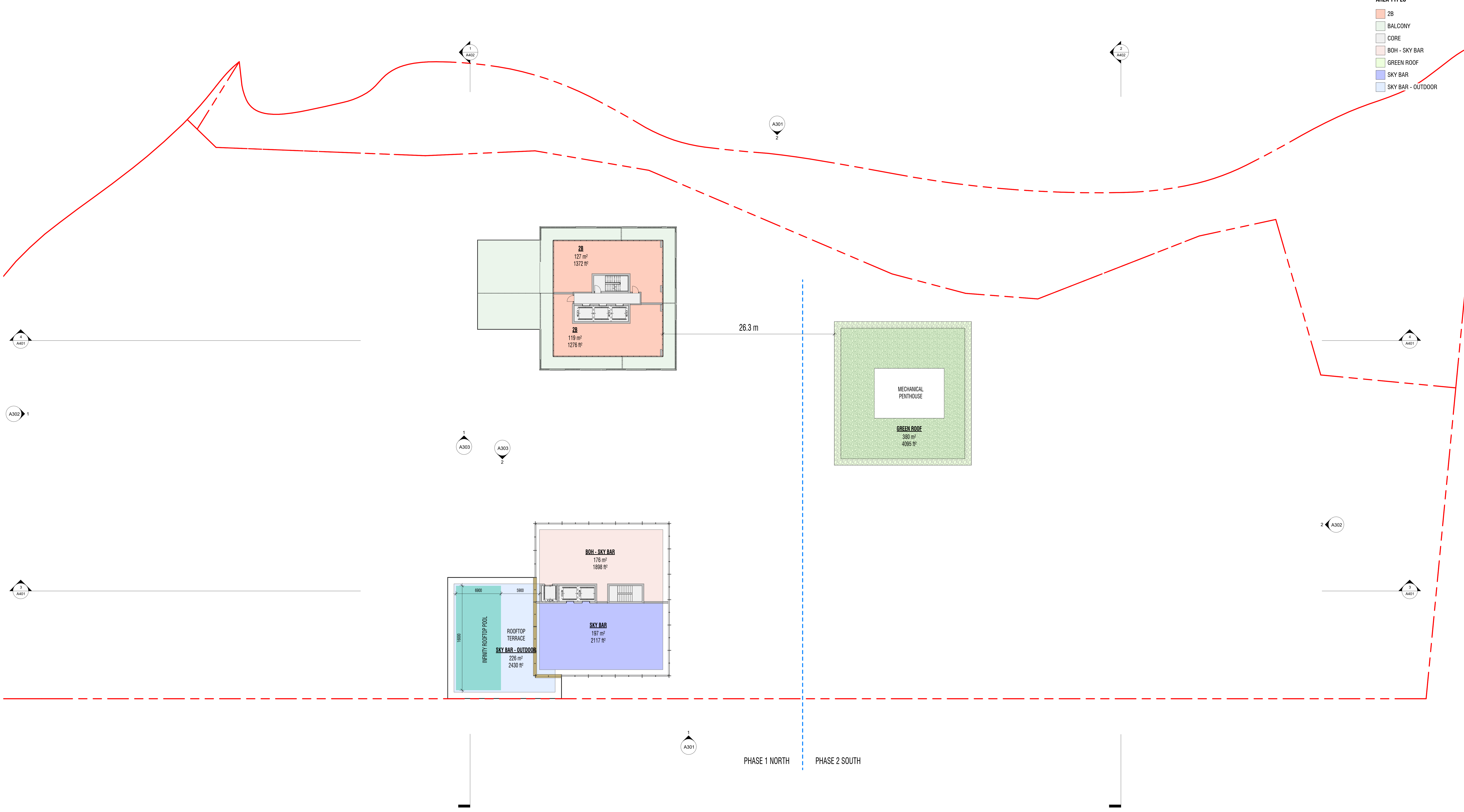
A214

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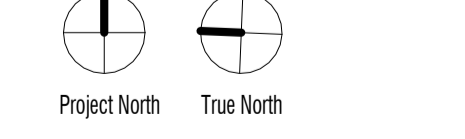
1 Level 15 Floor Plan
 A301 A215 1 : 200

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2	2024/04/26	REVISED FOR IBA
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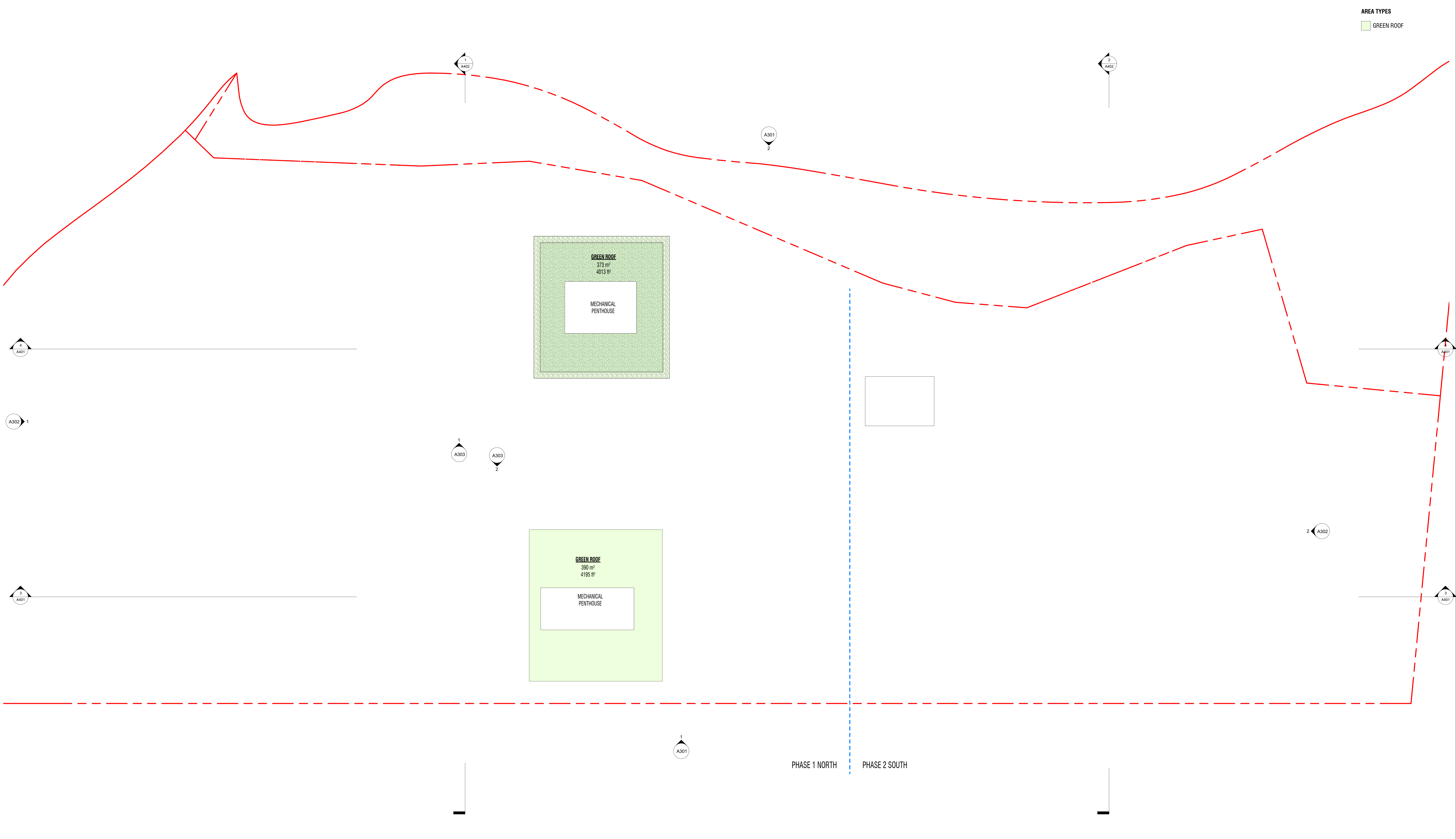
LEVEL 15 FLOOR PLAN

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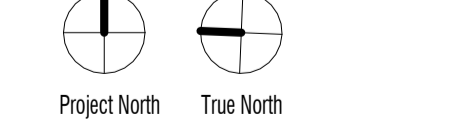
1 Level 16 Floor Plan
 A301 | A216 1:200

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2	2024/04/26	ISSUED FOR IBA
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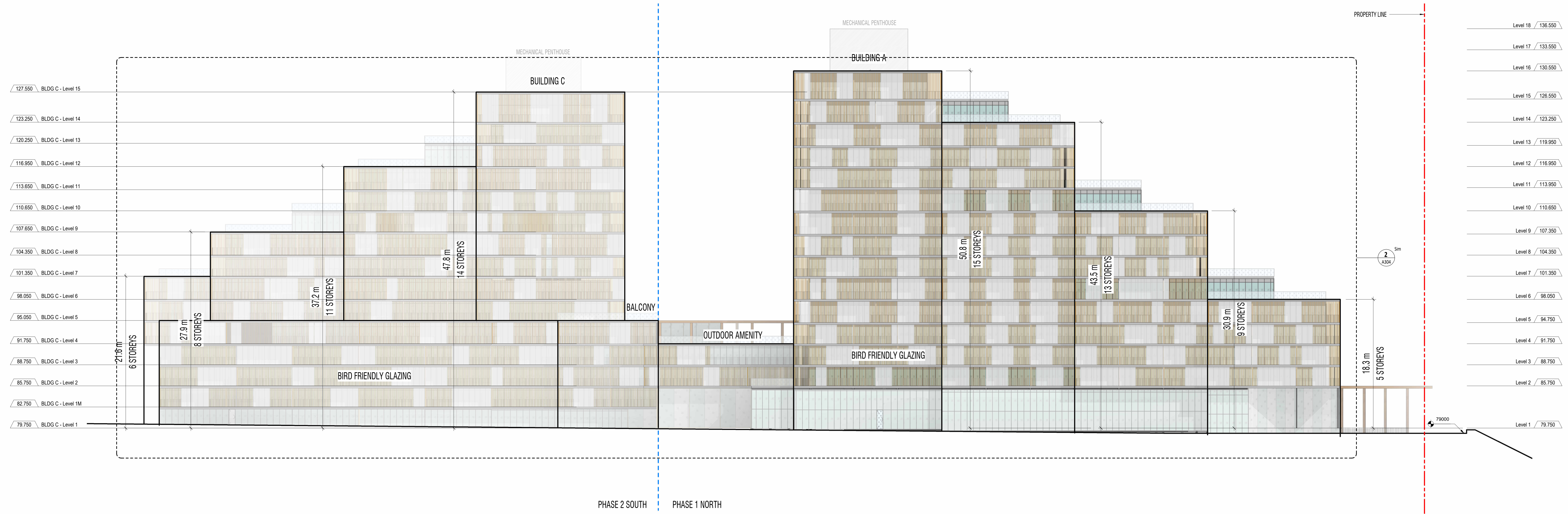
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LEVEL 16 ROOF PLAN

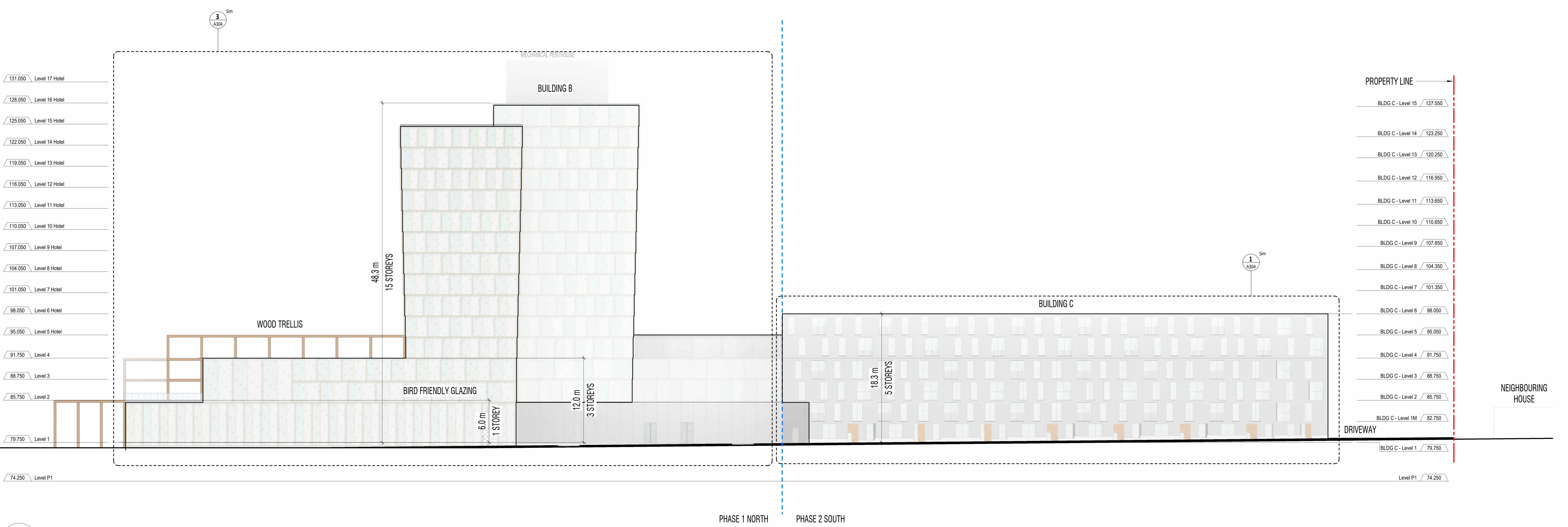
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2 Elevation - East
 A201 A301 1 : 200



1 Elevation - West
 A201 A301 1 : 200

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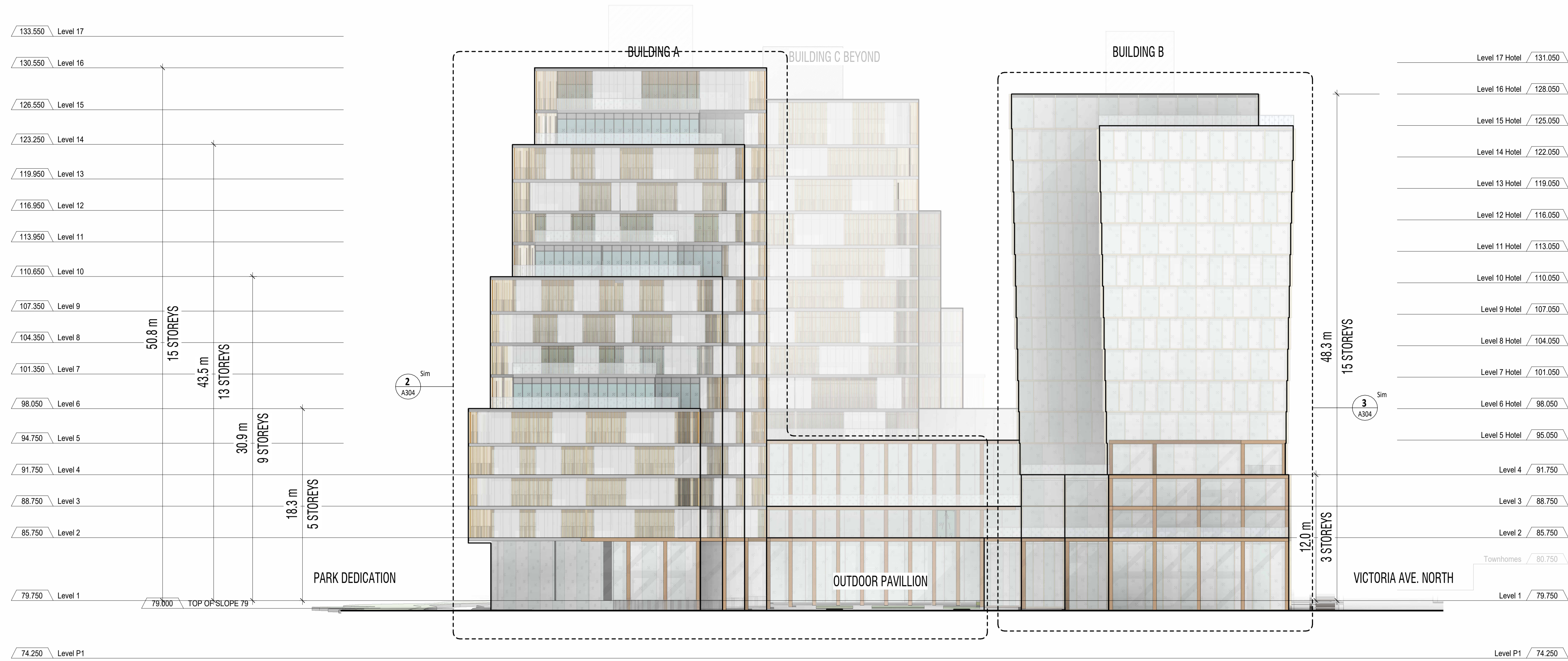
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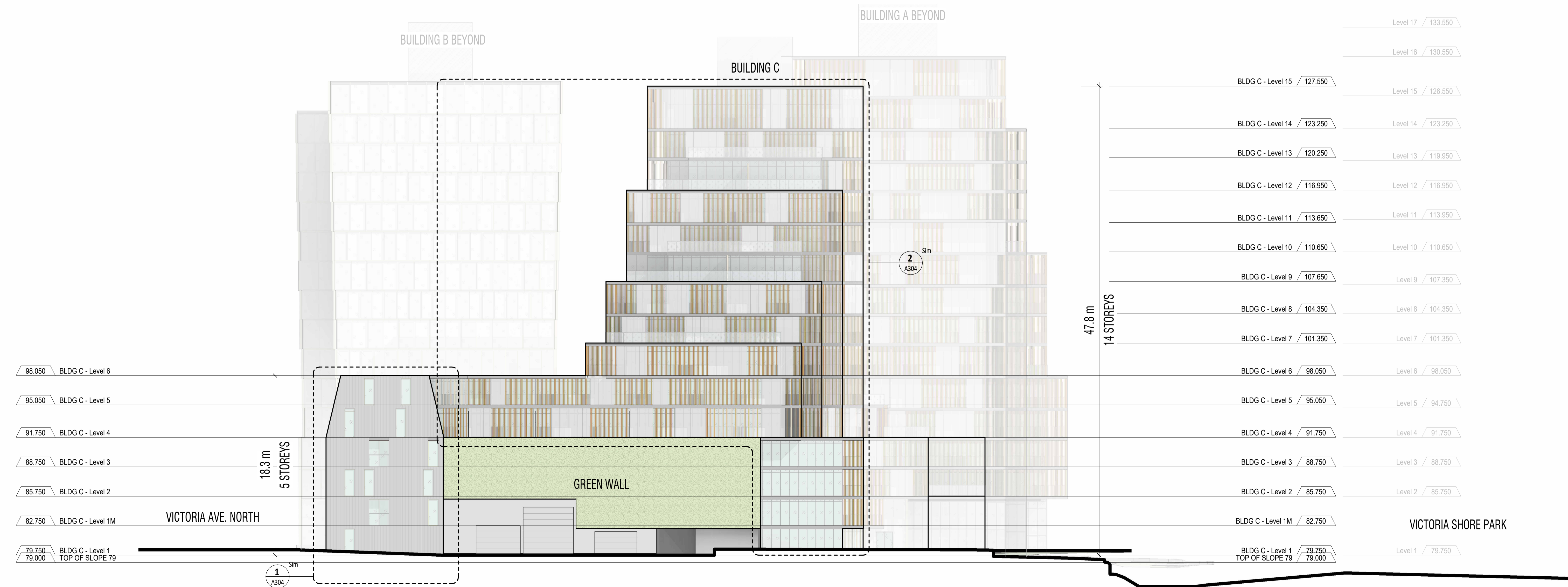
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 PROJECT NO. 202302
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**EAST & WEST
 ELEVATIONS**

A301



1 Elevation - North
A201 A302 1:200



2 Elevation - South
A201 A302 1:200

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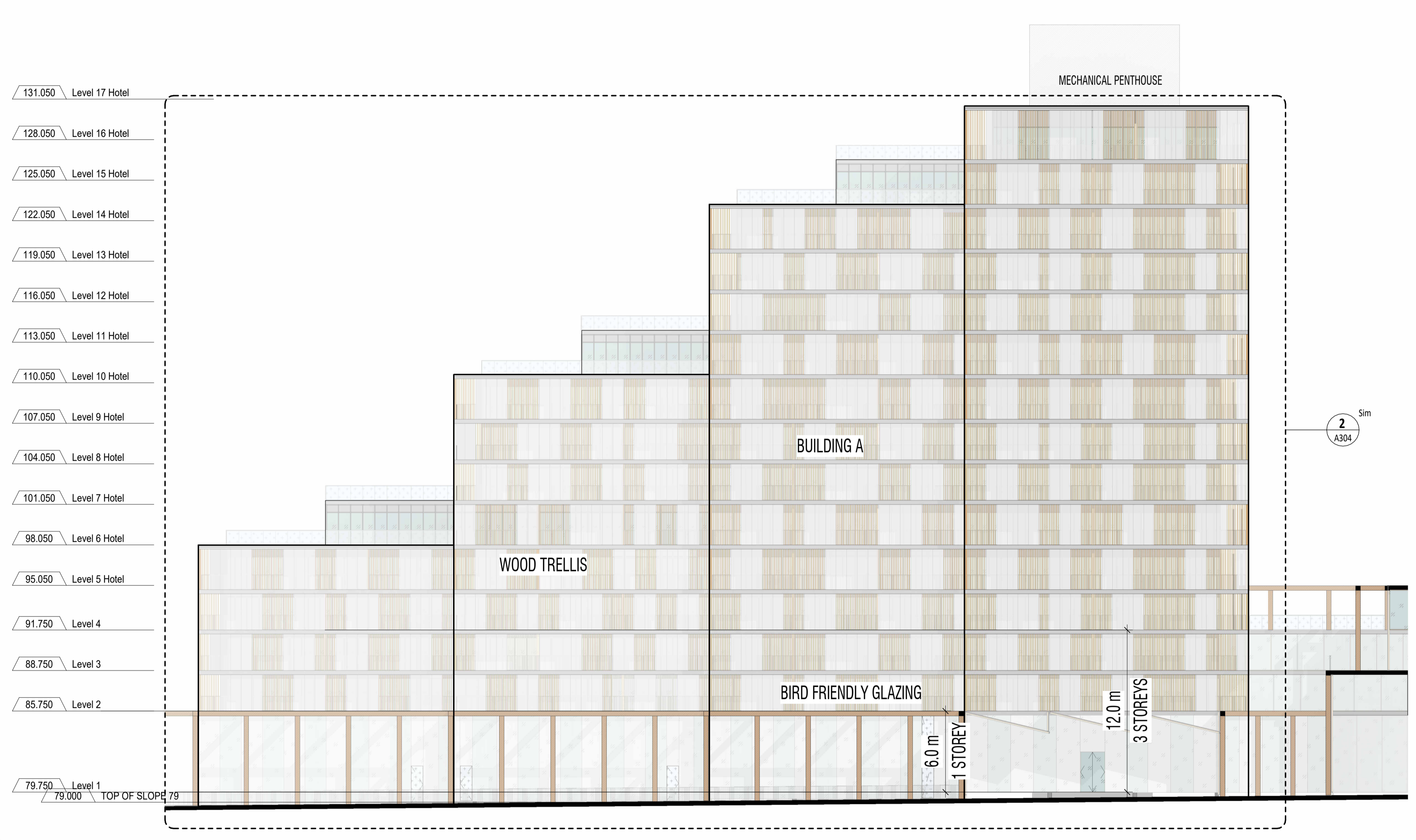
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 PROJECT NO. 202302
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NORTH & SOUTH ELEVATIONS A302

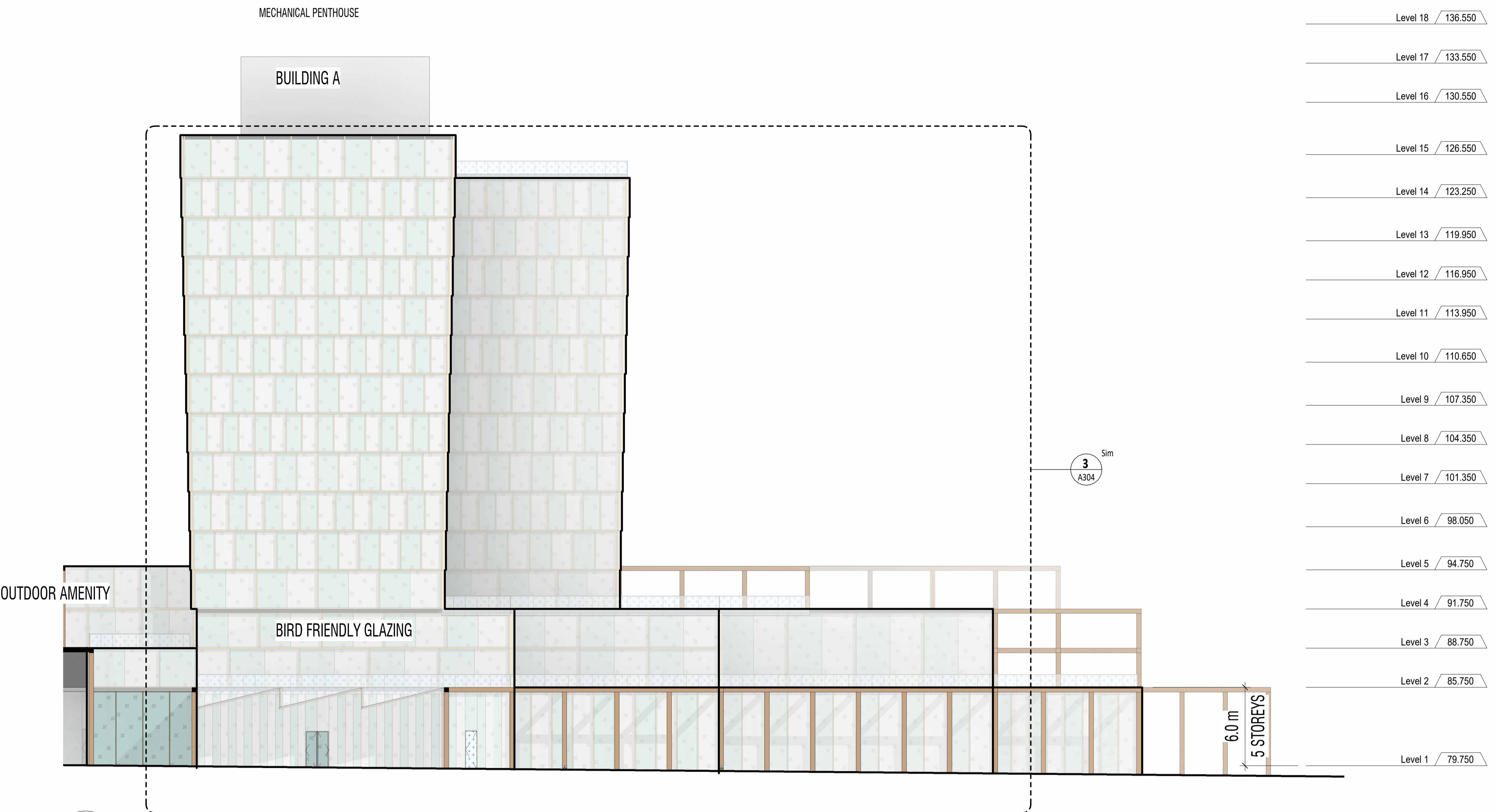
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1 Elevation - Courtyard East
 A105 A303 1:200



2 Elevation - Courtyard West
 A303 1:200

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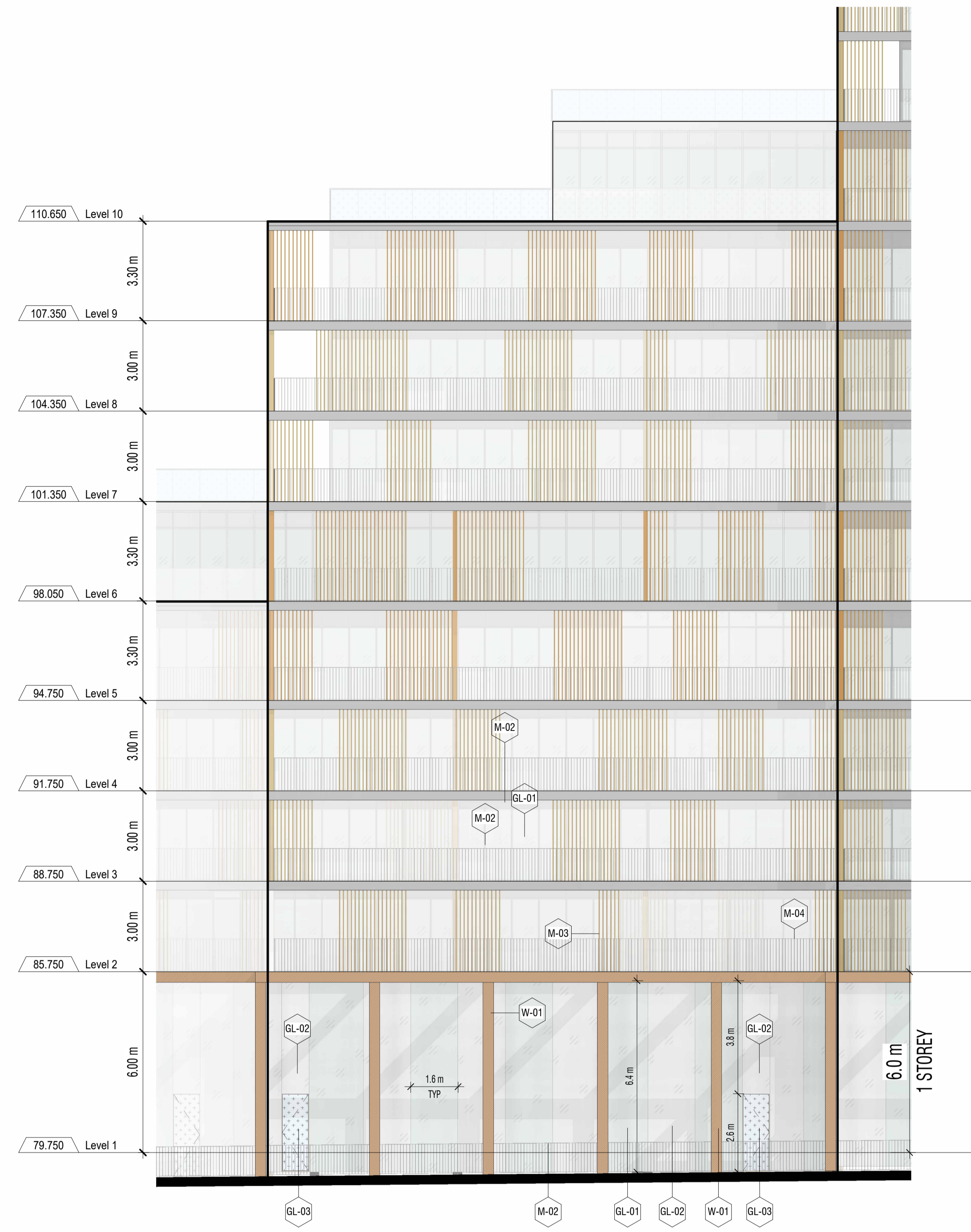
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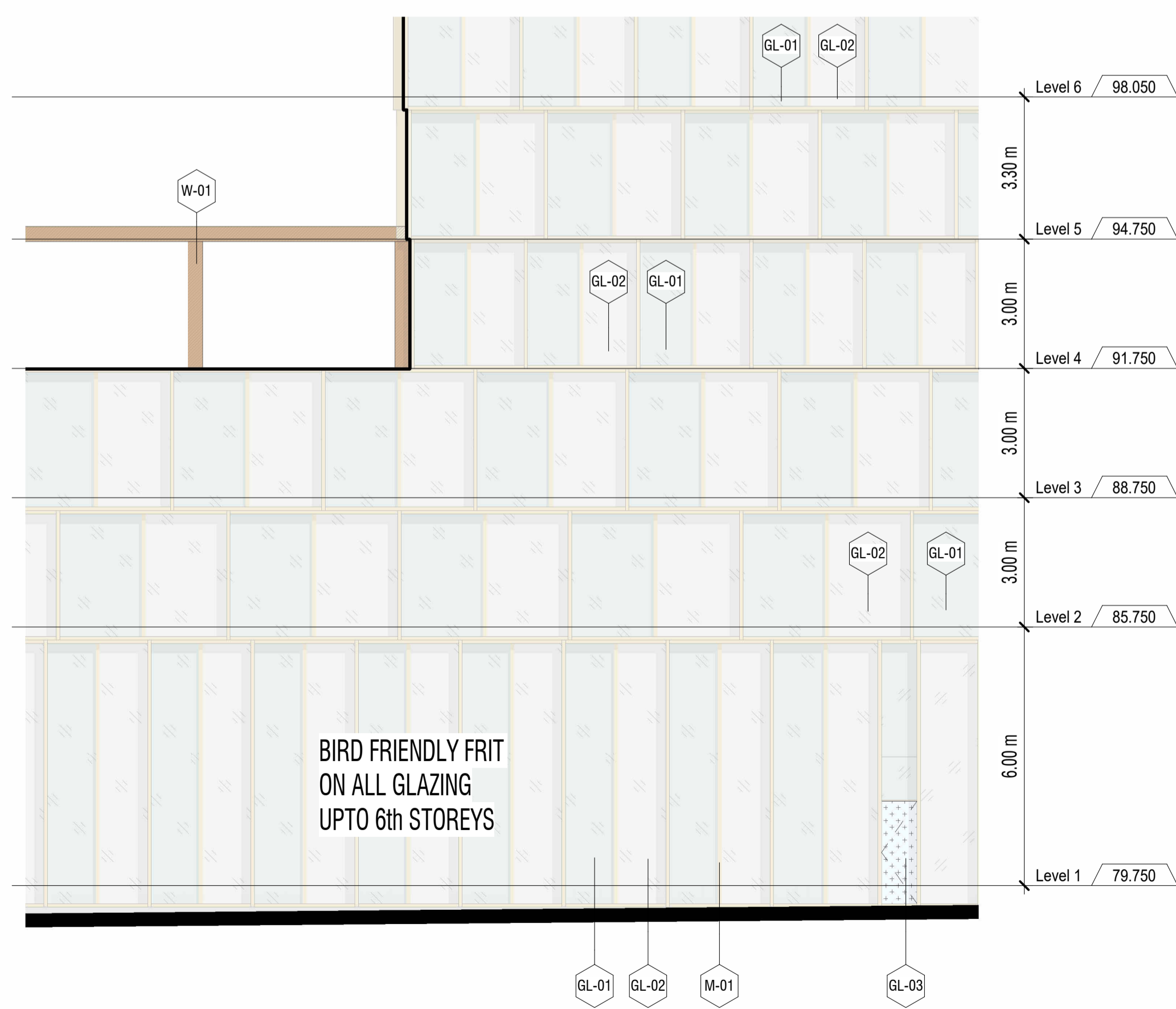
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**EAST & WEST
 COURTYARD
 ELEVATION
 A303**

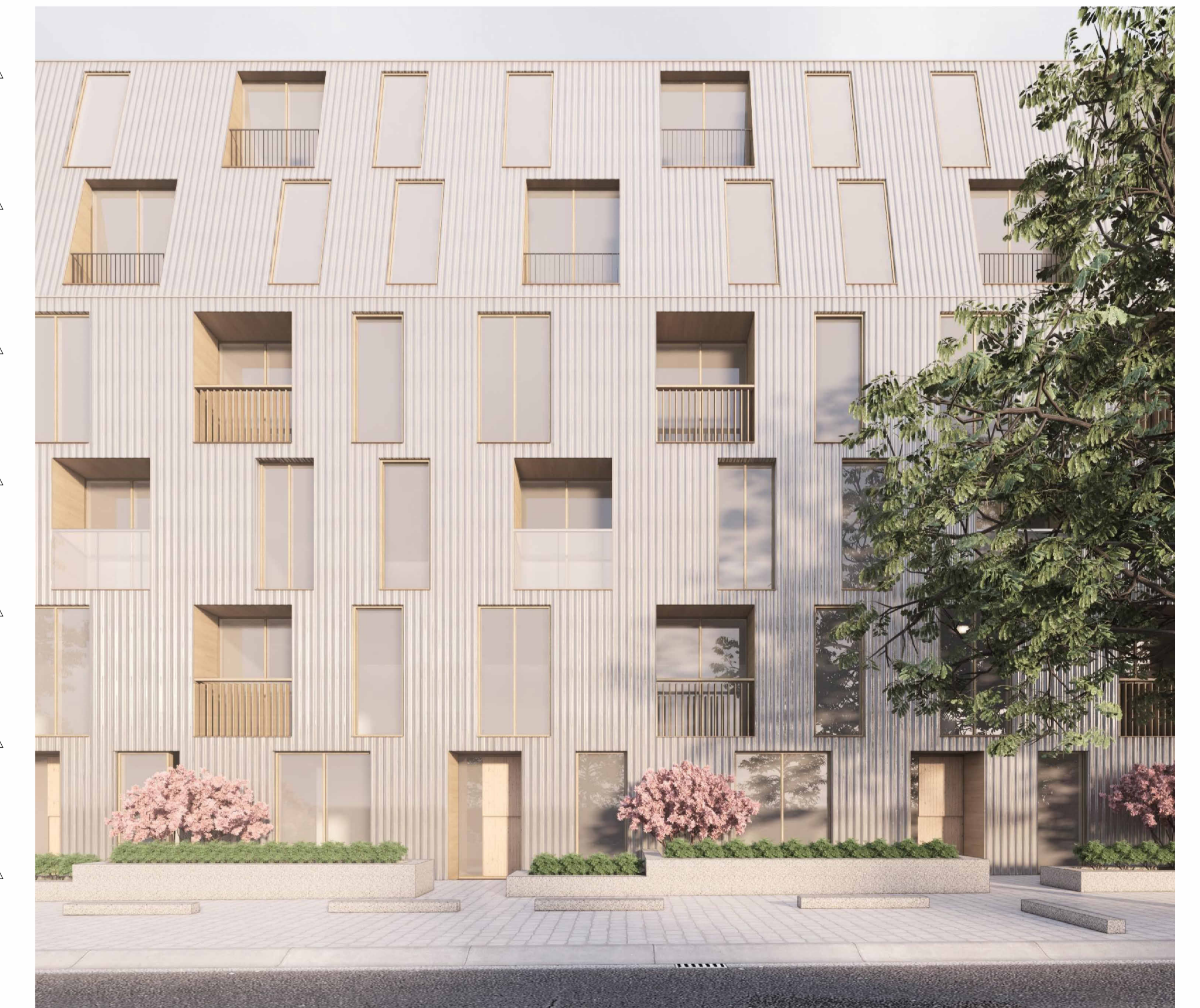
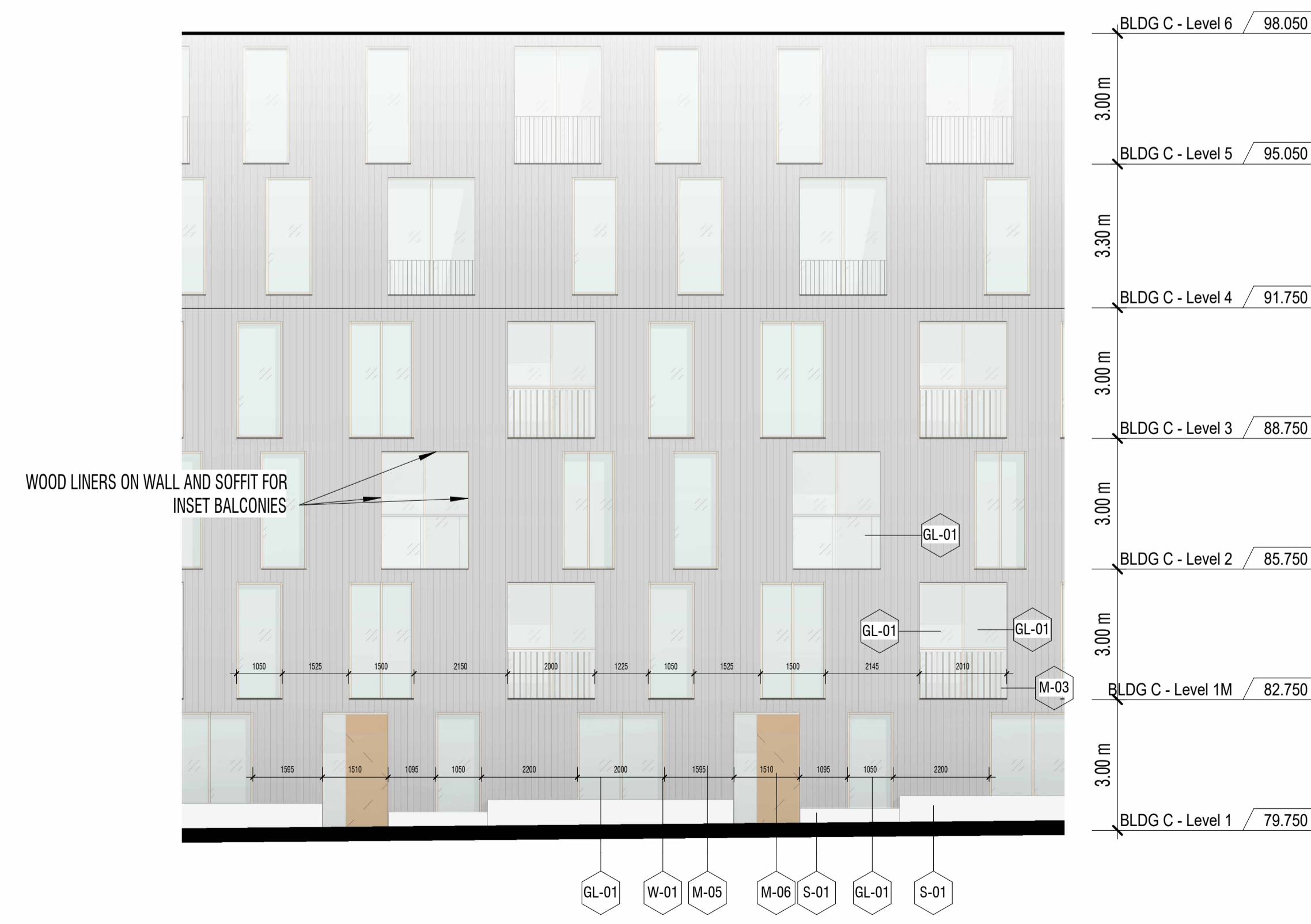
MATERIAL TAG	MATERIAL DESCRIPTION
GL-01	GLAZING - VISION GLASS w/ BIRD FRIENDLY FRIT
GL-02	GLAZING - FROSTED GLASS SPANDREL PANEL
GL-03	GLAZING - FROSTED GLASS SPANDREL DOOR PANEL FIRE RATED
M-01	MULLION - CHAMPAGNE GOLD METAL MULLION CAP
M-02	MULLION - DARK GREY METAL MULLION CAP
M-03	RAILING - WARM BROWN WOOD PATTERNED METAL PICKET RAILING
M-04	RAILING - DARK GREY METAL ROD PICKET RAILING
M-05	CLADDING - PEARL WHITE CORRUGATED METAL SIDING
M-06	CLADDING - WARM BROWN WOOD PATTERNED METAL DOOR PANEL
S-01	STONE - DOVE WHITE GRANITE PANELS, CHISEL FINISHED
W-01	WOOD - MASS TIMBER BEAM & POST



2 Elevation - TOWER & PODIUM TYP
A105 A304 1:100



3 Elevation - HOTEL & PODIUM TYP
A105 A304 1:100



1 Elevation - BLDG C WEST TYP
A105 A304 1:100

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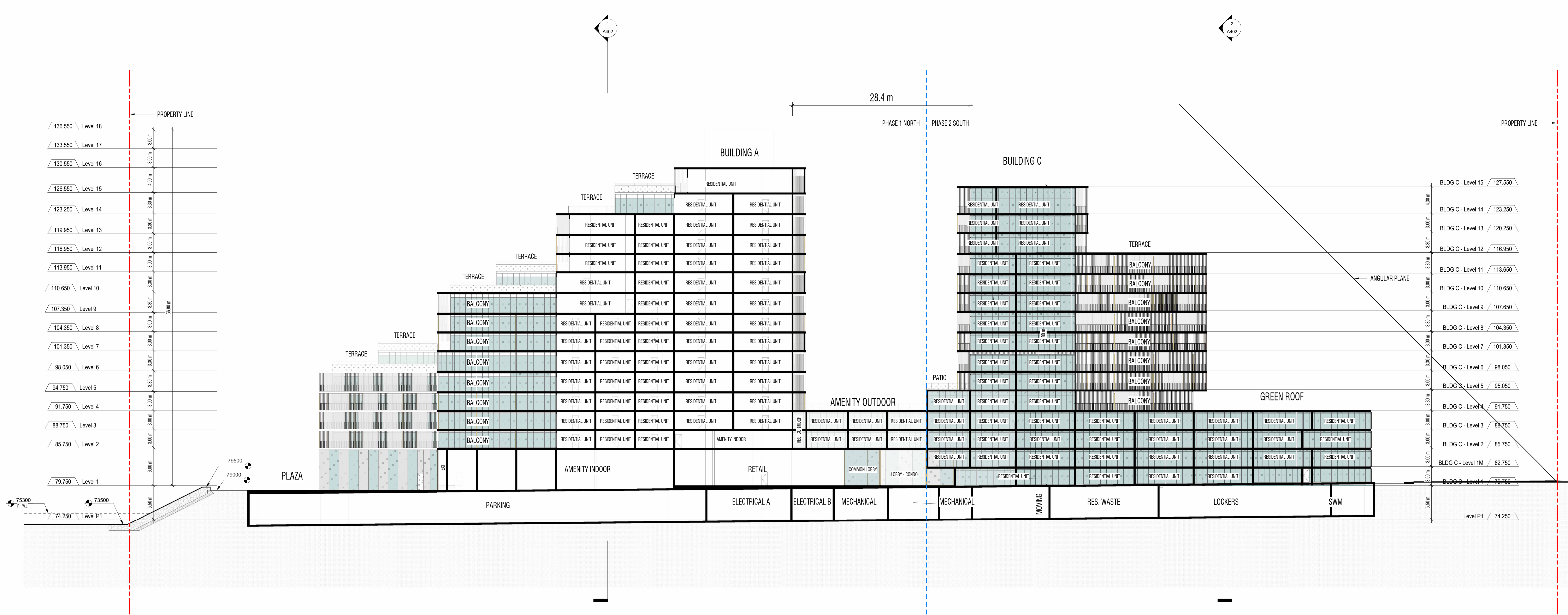
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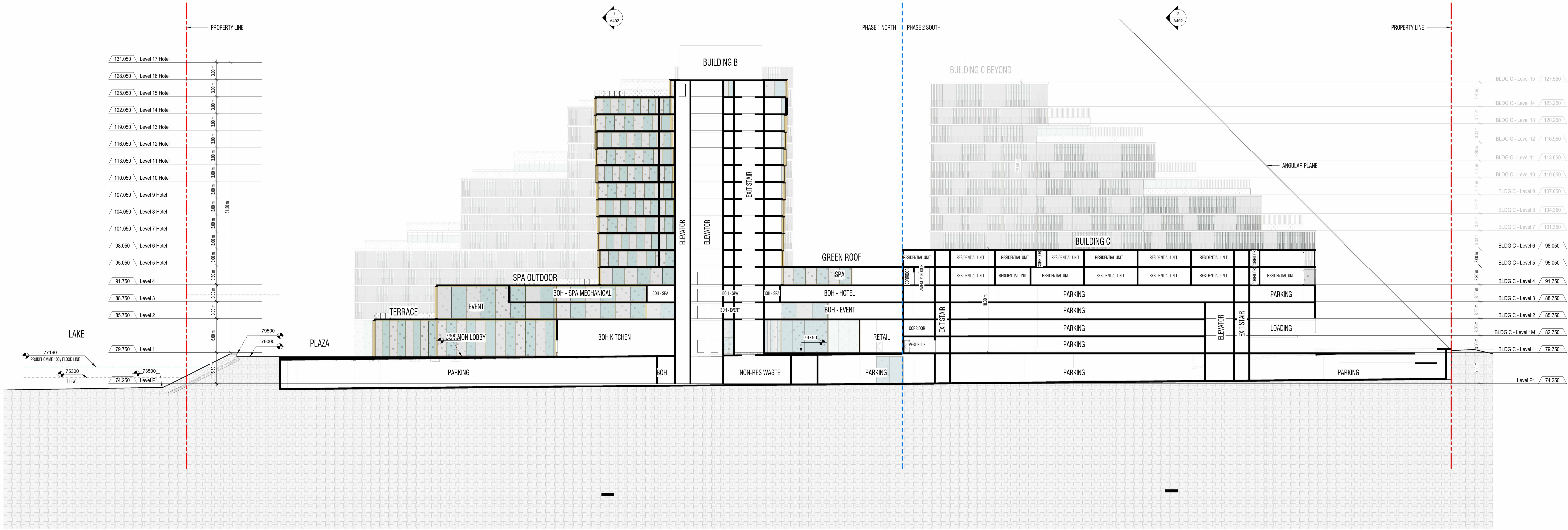
4933 VICTORIA AVENUE NORTH

SCALE As indicated
PROJECT NO. 202302
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ENLARGED
ELEVATIONS -
TYPICAL
A304



4 Site Section North South 1
 A105/A401 1:250



3 Site Section North South
 A105/A401 1:250

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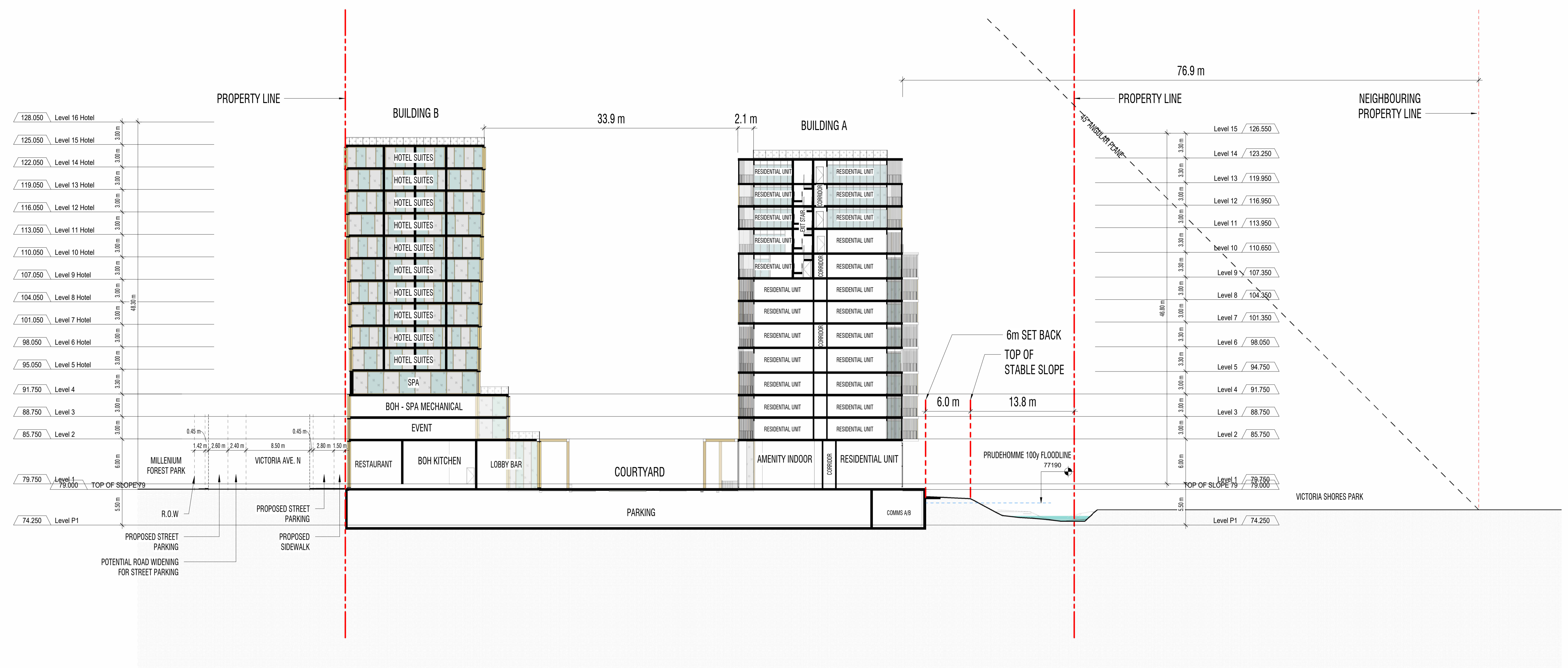
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SITE SECTIONS - NORTH SOUTH

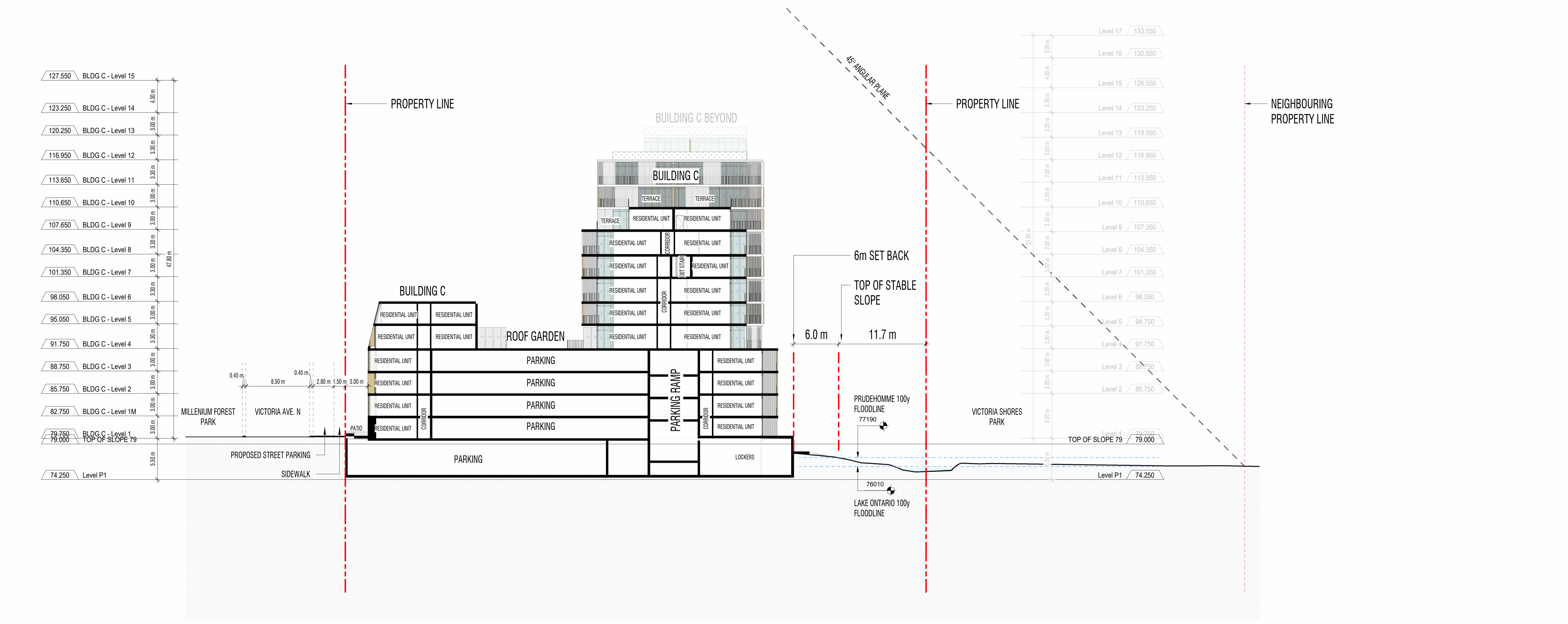
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1 Site Section - East West BLDG A + B
 A104 A402 1 : 250



2 Site Section - East West BLDG C
 A104 A402 1 : 250

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SITE SECTIONS - EAST WEST

A402