



APPLICATION FOR ZONING BY-LAW AMENDMENT

PROJECT TEAM

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LAN PLAN FLOOR SITE PLAN FLOOR PLAN

LOOR PLAN Floor plan LOOR PLAN OOR PLAN LOOR PLAN LOOR PLAN LOOR PLAN LOOR PLAN LOOR PLAN LOOR PLAN Floor Plan Floor plan FLOOR PLAN Floor Plan FLOOR PLAN

EST ELEVATIONS SOUTH ELEVATIONS EST COURTYARD ELEVATION D ELEVATIONS - TYPICAL

TIONS - NORTH SOUTH TIONS - EAST WEST

STUDY - APRIL / JUNE 21 STUDY - SEPT / DEC 21

A000

COVER SHEET

SCALE PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

4933 VICTORIA AVENUE NORTH _____

Globizen VINELAND

gh3* 55 OSSINGTON AVE, SUITE 100 Toronto, ON, Canada M6J 2Y9 416 915 1791

gh3

 2024/04/26 REISSUED FOR ZBA
 2024/02/23 ISSUED FOR ZBA Rev. Date Issued

1.0 SUMMARY

2.0 BUILDING HEIGHTS

TOTAL SITE AREA _
NET SITE AREA
LAND CONVEYANCE PART 1
LAND CONVEYANCE PART 2

19 <u>,348.</u> 3 m²	
16,299.1 m ²	
3 <u>,035.</u> 7 m²	
<u>13.</u> 5 m ²	

Building A: 50.8 m (15 Storeys) Building B: 48.3 m (15 Storeys) Building C: 47.8 m (14 Storeys) Building C TOWN: 18.3 m (5 Storeys)

TOTAL GFA - 46,941 m² FSI - 2.88

	1.1 BUILDING AREA SUMMARY	
Total Non-Residential GFA (m ²)	Residential GFA (m ²)	Total GFA (m²)
13,058	33,883	46,941

*EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

	1	.2 PARKING SUMMAR	Y	
RESIDENTIAL	VISITOR	OUTDOOR VISITOR	STREET	Total Car Parking
427	197	13	21	658
DESIGNATED P.O.P.S.	1797 m²			

3.0 FLOOR AREA

Total Non-Residentia G Ho 3FA (m²) Ho 0 0 0 0 94 0 0 0	II GFA (m²) tel GFA (m²) 0 0 0 0 0 0 0 0 0 0 0 0 0	Residential GFA (m²) 2,007 2,007 2,007 2,007 1,708 1,708 1,524 1,786 1,308 1,308 1,138 972 972 972 972 972 972	TOTAL GFA (m ²) 2,156 2,156 1,902 1,524 1,786 1,308 1,308 1,308 1,138 972 972 972
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94 94 0	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	2,007 1,708 1,524 1,786 1,308 1,308 1,138 972 972 972	2,156 1,902 1,524 1,786 1,308 1,308 1,308 1,138 972
94 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0 0 0 0	1,708 1,524 1,786 1,308 1,308 1,138 972 972 972	1,902 1,524 1,786 1,308 1,308 1,138 972
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0 0 0	0		972
0 0		801	801
0	v	635	635
	0	635	635
0	0	635	635
0	0	465	465
0	0	299	299
			15,354
	Ū	10,100	10,004
749	310	0	2,059
			1,801
			1,320
			846
			628
			628
			628
			628
			628
			628
			628
			628
			628
			628
			405
748	8,967	0	12,715
	0 194 749 0 0 327 799 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 373 0	194074931001,801327493799470628	194 0 15,160 749 310 0 0 1,801 0 327 493 0 799 47 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0 0 628 0

_evel 6	0	0	1,120	1,120
_evel 7	0	0	972	972
_evel 8	0	0	972	972
_evel 9	0	0	764	764
_evel 10	0	0	635	635
₋evel 11	0	0	635	635
₋evel 12	0	0	428	428
₋evel 13	0	0	299	299
_evel 14	0	0	299	299
	0	0	16,716	16,716

GRAND TOTAL	Total Non-Re	sidential GFA	Residential GFA (m ²)	Total GFA (m²)
	Retail GFA (m ²)	Hotel GFA (m ²)		
	3,942	8,967	33,883	46,941

	Total Ex	Total Excluded GFA		
	Loading Area (m ²)	Loading Area (m²) Parking Area (m²)		
	ARKING			
NORTH PHASE BELOW-GRADE P A Level P1	ARKING 0	11,284	11,284	

GRAND TOTAL	249	20,285	20,534
	249	9,001	9,250
Level 3	0	2,490	2,490
Level 2	0	2,153	2,153
BLDG C - Level 1M	0	2,074	2,074
Level 1	249	2,284	2,533

COVERAGE

BUILDING COVERAGE PERCENTAGE OF NET SITE AREA _

8502<u>m</u>² 52.1<u>%</u>

4.0 UNITS

4.1 RESIDEN

BLDG 'A'
NORTH PHASE

BLDG 'C'
SOUTH PHASE

TOTAL RESIDENTIAL UNITS

SOUTH PHASE

5.0 AMENITY

TOTAL UNITS	
NORTH PHASE	
NURTH PHASE	
192	
SOUTH PHASE	
204	
	-

6.0 PARKING

6.1 CAR PARKING						
Level	RESIDENTIAL	VISITOR	OUTDOOR VISITOR	TOTAL ON-SITE PARKING	STREET	TOTAL CAR PARKING
BLDG C - Level 3	73	0	0	73	0	73
BLDG C - Level 2	58	0	0	58	0	58
BLDG C - Level 1M	54	0	0	54	0	54
BLDG C - Level 1	52	0	13	65	21	86
Level P1	190	197	0	387	0	387
TOTAL	427	197	13	637	21	658

7.0 LOADING				
7.1 LOADING				
Level	Count	Туре		
Level 1	1	TYPE 'G' LOADING		
Level 1	1	TYPE 'B' LOADING		
Level P1	3	TYPE 'C' LOADING		

TOTAL GFA =

*WITH REFERENCE TO THE TOWN OF LINCOLN COMPREHENSIVE ZONING BY-LAW NO.2022-50, SECTION 2.110:

THE TOTAL FLOOR AREA OF ALL STOREYS OF A BUILDING OR STRUCTURE, INCLUDING THE FLOOR ARE OF ANY BASEMENT, WHICH FLOOR AREAS ARE MEASURED BETWEEN THE EXTERIOR FACES OF THE EXTERIOR WALLS OF A BUILDING AT EACH FLOOR LEVEL, BUT EXCLUDING ANY PARKING AREAS OR LOADING AREAS WITHIN THE BUILDING OR STRUCTURE.

NOTWITHSTANDING SECTION 2.110, FOR THE PURPOSE OF THIS BY-LAW, IN ADDITION TO THE EXCLUSION OF PARKING AREAS AND LOADING AREAS, GROSS FLOOR AREA SHALL NOT INCLUDE MECHANICAL OR BACK-OF-HOUSE AREAS WITH RESPECT TO CALCULATIONS OF PARKING REQUIREMENTS FOR USES.

(a) FURTHERMORE, FOR THE PURPOSE OF THIS BY-LAW, MECHANICAL OR BACK-OF-HOUSE AREAS SHALL BE DEEMED TO E AREAS SUPPORTIVE AND/OR ACCESSORY TO THE PRIMARY USE, NOT INTENDED FOR PUBLIC ACCESS. THIS MAY INCLUDE, BUT NOT LIMITED TO, AREAS USED FOR PREPARATION OF GOODS, PERSONAL NEEDS OF STAFF, STORAGE, EQUIPMENT AND/OR MAINTENANCE.

ALL INTERIOR FLOOR AREAS ABOVE GRADE INCL. CORES/CORRIDORS/VERTICAL SHAFTS EXCL. PARKING / LOADING EXCL. BALCONIES EXCL. ROOF TERRACE / OUTDOOR AMENITY

TOTAL NON-RESIDENTIAL GFA = RETAIL GFA + HOTEL GFA

RETAIL GFA= **RESTAURANT & KITCHEN** RESTAURANT (CAFE) GROCER (RETAIL) SPA + BOH RESTAURANT (BAR) - "SKY BAR" + BOH RESTAURANT (BAR) - "LOBBY BAR" COMMON LOBBY

HOTEL GFA =ALL INTERIOR HOTEL FLOOR AREAS EVENT SPACE ALL HOTEL BOH

		4.1 RESIDE	NTIAL UNITS		
	LEVEL		NEW RESIDENTIAI	-	UNIT COUNT
		1B	2B	3B	
E	Level 1	9	2	0	11
E	Level 2	16	4	1	21
E	Level 3	16	6	1	23
E	Level 4	13	6	1	20
E	Level 5	10	6	2	18
E	Level 6	11	5	1	17
E	Level 7	7	6	1	14
E	Level 8	7	6	1	14
E	Level 9	5	5	2	12
E	Level 10	4	7	0	11
E	Level 11	2	6	0	8
E	Level 12	2	6	0	8
E	Level 13	2	6	0	8
E	Level 14	0	4	1	5
E	Level 15	0	2	0	2
		104	77	11	192
E	Level 1	2	12	0	14
E	Level 2	3	11	2	16
E	Level 3	3	11	2	16
E	Level 4	25	8	2	35
E	Level 5	29	7	0	36
E	Level 6	11	4	1	16
E	Level 7	10	3	1	14
E	Level 8	9	4	1	14
E	Level 9	9	3	0	12
E	Level 10	9	1	0	10
E	Level 11	9	1	0	10
Ε	Level 12	0	5	0	5
	Lovel 10	0	3	0	3
E	Level 13	0			
	Level 13	0	3	0	3
E					

4.2 HOTEL SUITES					
	NEW HOTEL SUITES			UNIT COUNT	
	LEVEL	SINGLE SUITE	DOUBLE SUITE		
BLDG 'B'					
NORTH PHASE	Level 5	8	5	13	
NORTH PHASE	Level 6	8	5	13	
NORTH PHASE	Level 7	8	5	13	
NORTH PHASE	Level 8	8	5	13	
NORTH PHASE	Level 9	8	5	13	
NORTH PHASE	Level 10	8	5	13	
NORTH PHASE	Level 11	8	5	13	
NORTH PHASE	Level 12	8	5	13	
NORTH PHASE	Level 13	8	5	13	
NORTH PHASE	Level 14	8 5		13	
TOTAL HOTEL S	UITES	80	50	130	

4.2 COMMERCIA		
Name	Level	AREA
* DOES NOT INCLUDE "BACK OF HOUSE" \$	SPACES	
BLDG 'A'		
RETAIL	Level 1	194 m ²
		194 m ²
BLDG 'B'		
RESTAURANT	Level 1	818 m ²
RESTAURANT (BAR) - "LOBBY-BAR"	Level 1	118 m ²
RESTAURANT (CAFE)	Level 1	133 m ²
EVENT	Level 2	999 m ²
SPA	Level 4	799 m ²
RESTAURANT (BAR) - "SKY BAR"	Level 15	197 m ²
		3064 m ²

TOTAL COMMERCIAL UNIT AREA

4.2 COMMERCIAL UNITS - BACK-OF-HOUSE / MECHANICAL					
Name Level AREA					
NORTH PHASE					

3258 m²

TOTAL COMMERCIAL BOH/MECHANICAL	2349 m ²	
		2349 m ²
BOH -RESTAURANT (BAR) - "SKY BAR"	Level 15	176 m ²
BOH - SPA MECHANICAL	Level 3	548 m ²
BOH - SPA	Level 3	279 m ²
BOH - KITCHEN	Level 1	276 m ²
BOH - HOTEL	<varies></varies>	1070 m ²

CD		Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	
BLDG	NORTH PHASE	1B	104	54%	50 m ²	543 SF	
Ы	NORTH PHASE	2B	77	40%	71 m²	764 SF	
	NORTH PHASE	3B	11	6%	103 m ²	1111 SF	
Ŀ			4.3 UNIT MI)	(SUMMARY -	BUILDING 'C'		
		Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	
BLDG	SOUTH PHASE	1B	119	58%	51 m ²	551 SF	
S	SOUTH PHASE	2B	76	37%	69 m²	742 SF	
	SOUTH PHASE	3B	9	4%	91 m ²	983 SF	
	TOTAL RESIDENTIAL - UNIT MIX 4.3 TOTAL RESIDENTIAL UNIT MIX SUMMARY						
	Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area	
	1B	223	56%	51 m²	547 SF	11336 m ²	
	2B	153	39%	70 m ²	753 SF	10699 m ²	
	3B	20	5%	98 m ²	1054 SF	1957 m ²	
	TOTAL	396	100%			23992 m ²	
~	NEW HOTEL	. SUITES - UI			BUILDING 'B'		-
ē		Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	
BLDG	NORTH PHASE	HOTEL SUITE - Double	50	38%	40 m ²	434 SF	
8	NORTH PHASE	HOTEL SUITE - Single	80	62%	36 m ²	386 SF	
	TOTAL		130	100%			

5.1 A	MENITY	
AN		
OUTDOOR	INDOOR	TOTAL AREA
815 m ²	979 m ²	1794 m ²
165 m ²	38 m ²	203 m ²

6.2 BICYCLE PARKING				
	Bicycle	Parking		
Level	Long-Term	Short-Term	TOTAL BICYCLE PARKIN	
BLDG C - Level 1	160	0	160	
TOTAL	160	0	160	

8.0 WASTE			
	8.1	WASTE STORAGE AREA	
Area Type	Level	Name	Area
NORTH PHASE	Level P1	RES. WASTE	150 m ²
NORTH PHASE	Level P1	RES. WASTE	135 m ²
NORTH PHASE	Level P1	NON-RES. WASTE	65 m ²
	_		350 m ²

4.3	UNI

A

IIT MIX

NEW RESIDENTIAL - UNIT MIX

4.3 UNIT MIX SUMMARY - BUILDING 'A'						
	Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
IORTH PHASE	1B	104	54%	50 m ²	543 SF	5245 m ²
IORTH PHASE	2B	77	40%	71 m ²	764 SF	5463 m ²
IORTH PHASE	3B	11	6%	103 m ²	1111 SF	1135 m ²

4.3 UNIT MIX SUMMARY - BUILDING 'C'						
	Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
SOUTH PHASE	1B	119	58%	51 m²	551 SF	6144 m ²
SOUTH PHASE	2B	76	37%	69 m²	742 SF	6136 m ²
SOUTH PHASE	3B	9	4%	91 m²	983 SF	919 m ²

TOTAL RESIDENTIAL - UNIT MIX

4.3 TOTAL RESIDENTIAL UNIT MIX SUMMARY					
Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
В	223	56%	51 m ²	547 SF	11336 m ²
В	153	39%	70 m ²	753 SF	10699 m ²
B	20	5%	98 m ²	1054 SF	1957 m ²
OTAL	396	100%			23992 m ²

NEW HOTEL SUITES - UNIT MIX

4.3 UNIT MIX SUMMARY - BUILDING 'B'						
	Name	No. Units	Unit Mix	Avg Area	Avg Area (SF)	Total Area
NORTH PHASE	HOTEL SUITE - Double	50	38%	40 m ²	434 SF	2014 m ²
NORTH PHASE	HOTEL SUITE - Single	80	62%	36 m ²	386 SF	2867 m ²
OTAL		130	100%			4881 m ²

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verify all existing conditions and dimensions required to perform the Work and will report any discrepancies with the Contract Documents to the Architect before commencing work. 2. The Architectural Drawings are to be read in conjunction with all other Contract Documents including the Project Manuals and the Structural, Mechanical and Electrical Drawings. In cases of difference between the Consultants' documents with respect to the quantity, sizes or scope of work, the

greater shall apply. 3. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect.

4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted. 5. The architect has not been retained for supervision of construction and assumes no responsibility for means, methods and techniques of construction. 6. These documents are not to be used for construction unless specifically noted for such

purpose.

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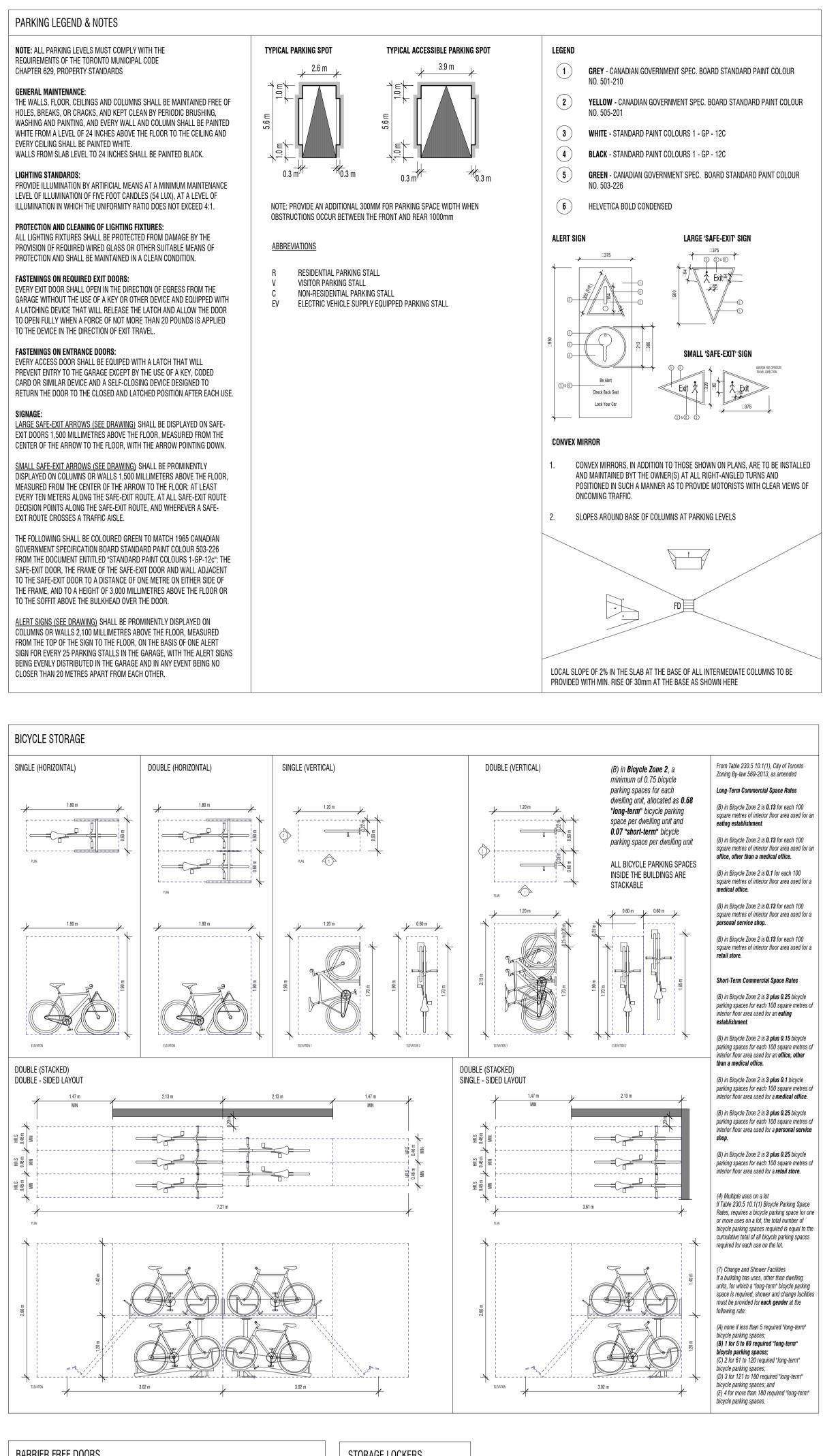
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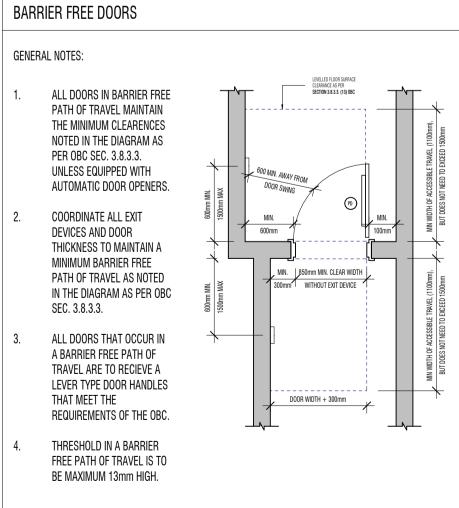
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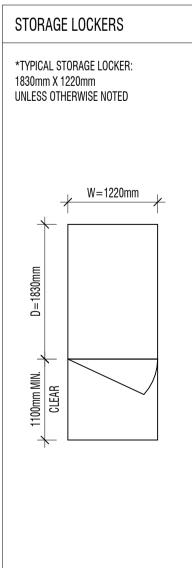
4933 VICTORIA AVENUE NORTH

SCALE 1:1 PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

PROJECT **STATISTICS**







following rate: (A) none if less than 5 required "long-term" bicycle parking spaces; (B) 1 for 5 to 60 required "long-term" bicycle parking spaces; (C) 2 for 61 to 120 required "long-term" bicycle parking spaces;

or more uses on a lot, the total number of bicycle parking spaces required is equal to the cumulative total of all bicycle parking spaces required for each use on the lot. (7) Change and Shower Facilities If a building has uses, other than dwelling units, for which a "long-term" bicycle parking space is required, shower and change facilities must be provided for **each gender** at the

shop. (B) in Bicycle Zone 2 is **3 plus 0.25** bicycle parking spaces for each 100 square metres of interior floor area used for a **retail store**. (4) Multiple uses on a lot

than a medical office. (B) in Bicycle Zone 2 is 3 plus 0.1 bicycle parking spaces for each 100 square metres of interior floor area used for a medical office. (B) in Bicycle Zone 2 is 3 plus 0.25 bicycle parking spaces for each 100 square metres of interior floor area used for a personal service

Short-Term Commercial Space Rates (B) in Bicycle Zone 2 is **3 plus 0.25** bicycle parking spaces for each 100 square metres of interior floor area used for an **eating** establishment. (B) in Bicycle Zone 2 is 3 plus 0.15 bicycle parking spaces for each 100 square metres of interior floor area used for an office, other

(B) in Bicycle Zone 2 is **0.1** for each 100 square metres of interior floor area used for a medical office. (B) in Bicycle Zone 2 is **0.13** for each 100 square metres of interior floor area used for a personal service shop. (B) in Bicycle Zone 2 is **0.13** for each 100 square metres of interior floor area used for a retail store.

From Table 230.5 10.1(1), City of Toronto Zoning By-law 569-2013, as amended Long-Term Commercial Space Rates (B) in Bicycle Zone 2 is **0.13** for each 100 square metres of interior floor area used for an eating establishment. (B) in Bicycle Zone 2 is **0.13** for each 100 square metres of interior floor area used for an office, other than a medical office.

SMALL 'SAFE-EXIT' SIGN MIRROR FOR OPPOSITE TRAVEL DIRECTION

LARGE 'SAFE-EXIT' SIGN ∱ Exit 🛣

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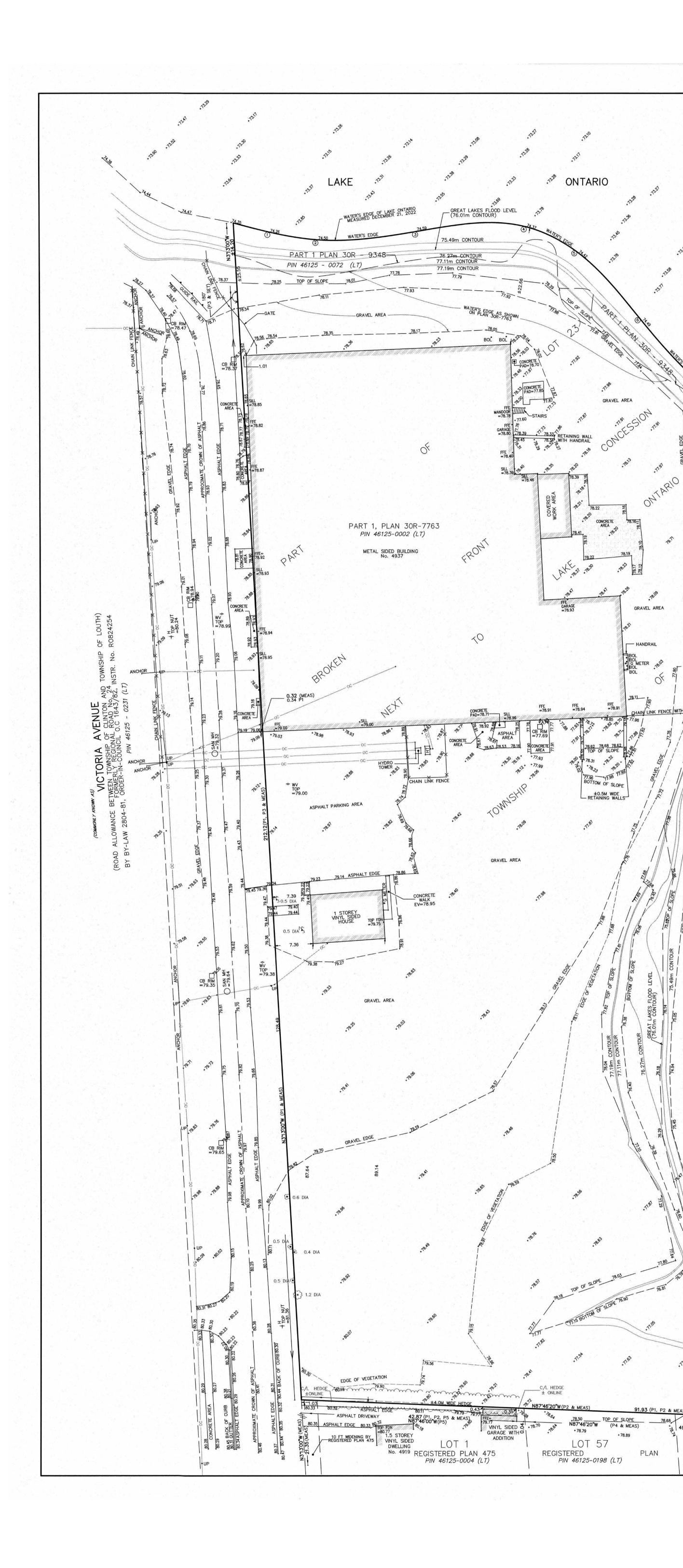
Project North True North

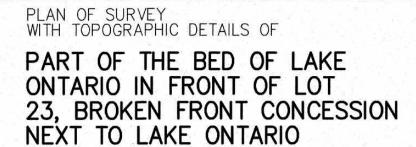
PROJECT

STATISTICS

SCALE As indicated PROJECT NO. 202302

ISSUE DATE APRIL, 26, 2024





AND PART OF LOT 23 BROKEN FRONT CONCESSION, NEXT TO LAKE ONTARIO GEOGRAPHIC TOWNSHIP OF LOUTH TOWN OF LINCOLN

REGIONAL MUNICIPALITY OF NIAGARA 20 metres 0 5 J.D. BARNES LIMITED

C COPYRIGHT 2023 METRIC DISTANCES AND/OR COORDINATES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

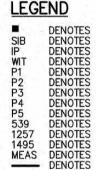
NOTES BEARINGS ARE UTM GRID, DERIVED FROM GNSS OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999802. FOR BEARING COMPARISONS, A ROTATION OF 1'04'00" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P1. FOR BEARING COMPARISONS, A ROTATION OF 1'04'30" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P2. FOR BEARING COMPARISONS, A ROTATION OF 1'05'00" COUNTER-CLOCKWISE WAS APPLIED TO BEARINGS ON P5.

ELEVATION NOTE ELEVATIONS ARE OF GEODETIC ORIGIN (CGVD-1928:78), AND ARE DERIVED FROM GNSS OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOID MODEL HT2.0.

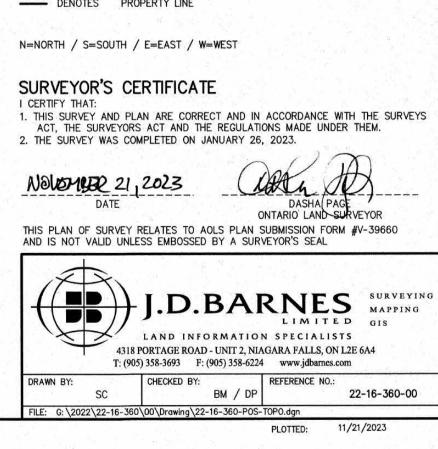


TOPOGRAPHIC LEGEND

СВ	DENOTES CATCHBASIN
O SAN MH	DENOTES SANITATION MANHOLE
о нт	DENOTES HYDRO TRANSFORMER
* G METER	DENOTES GAS METER
• BOL	DENOTES BOLLARD
• UP	DENOTES UTILITY POLE
-ү- Н	DENOTES FIRE HYDRANT
⊸ wv	DENOTES WATER VALVE
C/L	DENOTES CENTERLINE
0C	DENOTES OVERHEAD HYDRO CABLE
<u></u>	DENOTES FENCE
two stores	DENOTES CONIFEROUS TREE
کری	
LEGEND	



■ DENOTES SURVEY MONUMENT FOUND SIB DENOTES STANDARD IRON BAR IP DENOTES IRON PIPE WIT DENOTES WITNESS P1 DENOTES PLAN 30R-7763 P2 DENOTES PLAN 30R-2258 P3 DENOTES PLAN 30R-9348 P4 DENOTES PLAN 30M-297 P5 DENOTES PLAN 475 539 DENOTES PLAN 475 539 DENOTES R. LAROCQUE, O.L.S. 1257 DENOTES R. LAROCQUE, O.L.S. 1495 DENOTES P.D. REITSMA SURVEYING LTD. MEAS DENOTES MEASURED DENOTES PROPERTY LINE



WATER'S EDGE / CENTRE-LINE OF CREEK

NOTE: ELEVATIONS SHOWN IN LAKE ONTARIO REPRESENT LAKE BOTTOM

630501.5

POINT

18.17 78.17 78.12

GRAVEL AREA

HANDRAIL

91.93 (P1, P2 & MEAS)

PLAN

+ 78.89

18.35. (P1 & SEI)

N87'46'20"W(MEAS) PART OF LOT 23' BROKEN FRONT CONCESSION, NEXT TO LAKE ONTARIO, TOWNSHIP OF LOUTH PART 2, PLAN 30R-2690 PIN 46125-0318 (LT)

49.06(P1, P2, P4 & MEAS)

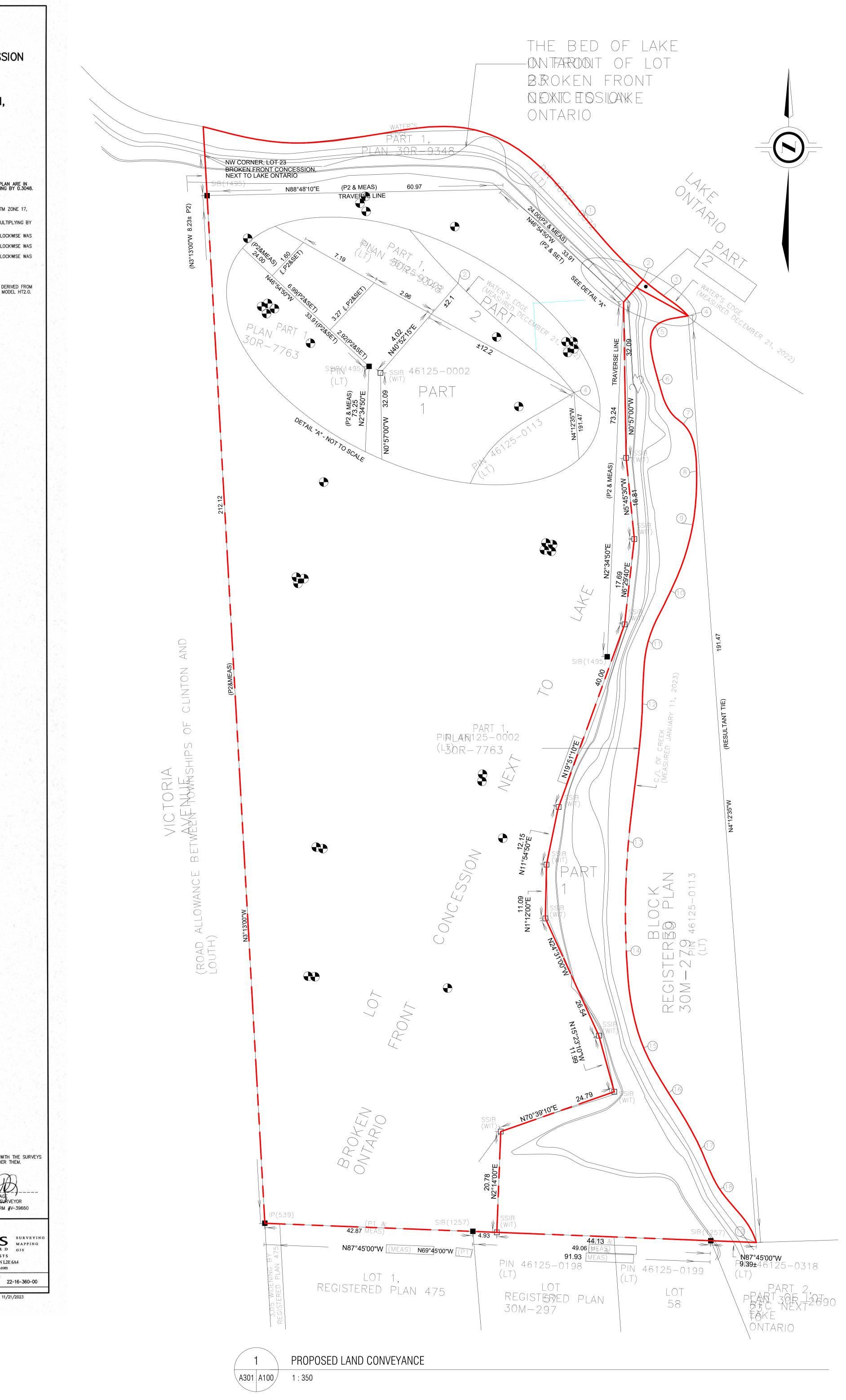
LOT 58 $^{18^{14}}_{\text{CORNER}}$ 30M-297 $^{\text{RETAINING WALL}}_{\text{t online}}$ *PIN 46125-0199 (LT)*

FLOODLINE CONTOUR NOTE CONTOUR LINES AT 75.49m, 76.27m, 77.11m, 77.19m ARE FLOODLINE ELEVATIONS TAKEN FROM CROSS-SECTIONS SHOWN ON NIAGARA PENINSULA CONSERVATION AUTHORITY MAPPING. THE 76.01m CONTOUR LINE IS THE GREAT LAKES 100-YEAR FLOOD LEVEL FOR THIS AREA OF LAKE ONTARIO.

BLOCK 39

PIN 46125 - 0113 (LT)

REGISTERED PLAN 30M-279



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SCALE 1 : 350 PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

SURVEY



A102

 SCALE
 1 : 1000

 PROJECT NO.
 202302

 ISSUE DATE
 APRIL, 26, 2024

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CONTEXT PLAN

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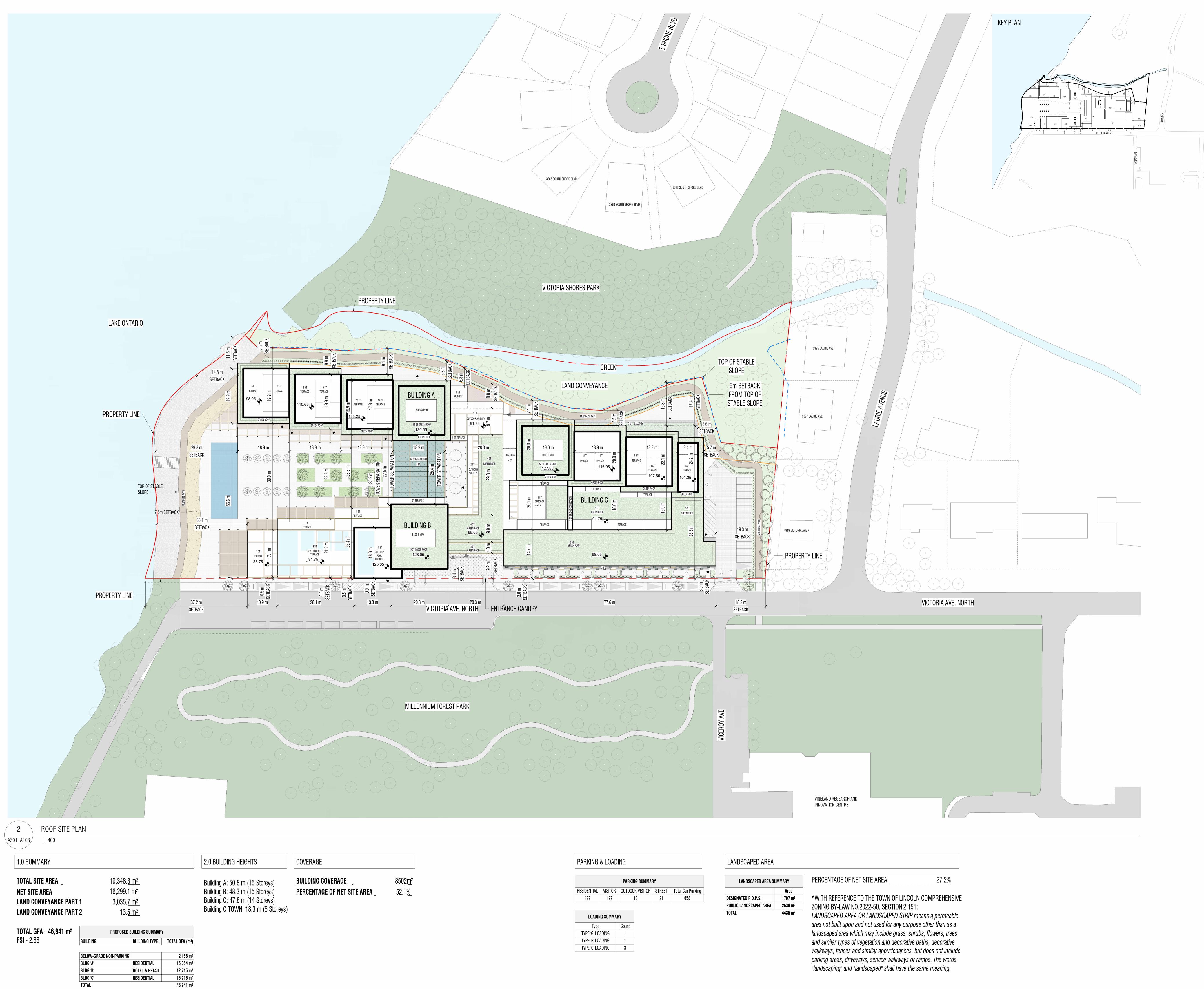
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Architect before commencing work.



46,941 m²

		PARKI	NG SUMMAI	RY	
RESIDENTIAL	VISITOR	OUTDOC	R VISITOR	STR	
427	197		13	2	
LOADING SUMMARY					
Туре		Count]		
		1	1		

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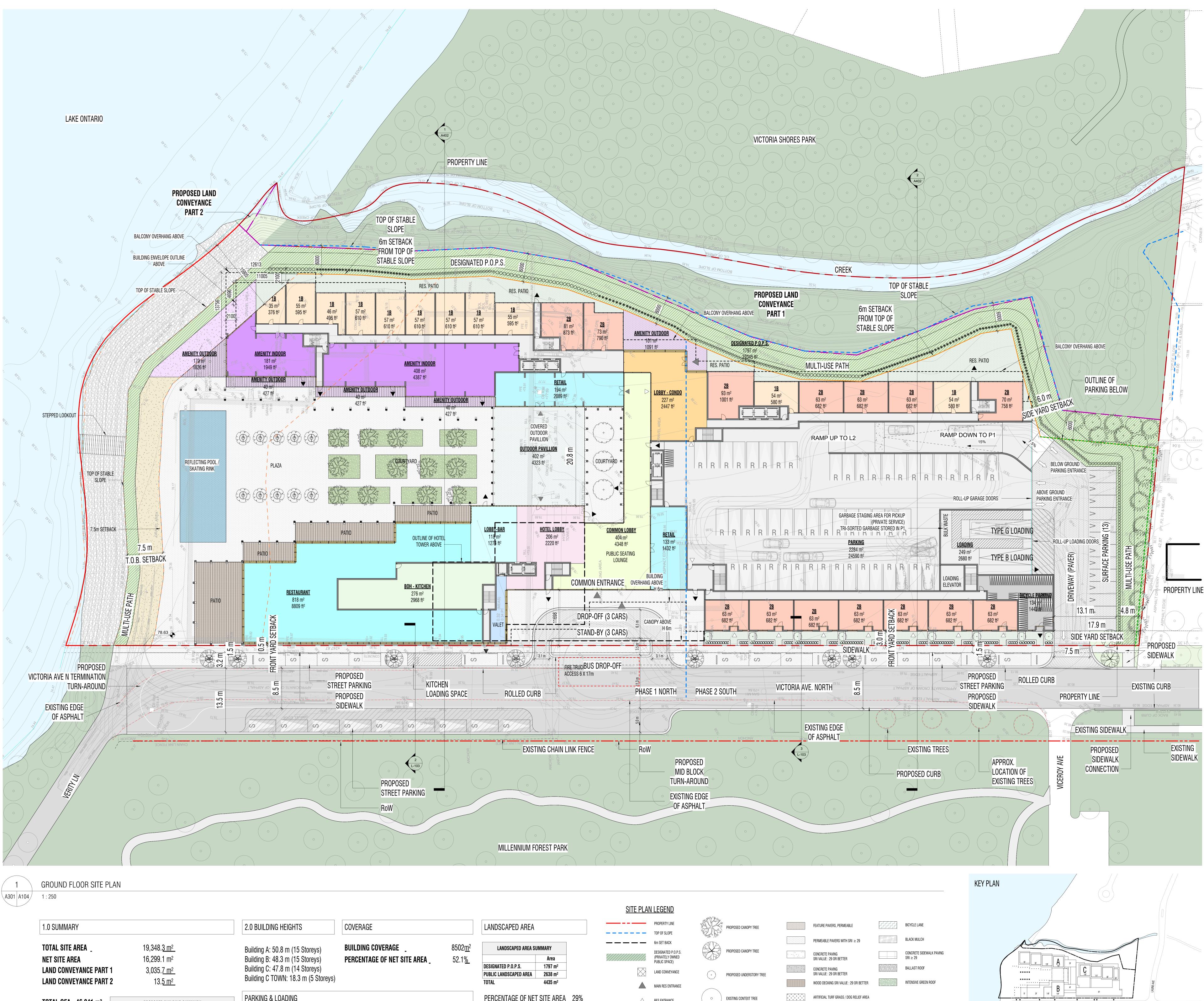
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Project North True North

SCALE As indicated PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

ROOF SITE PLAN



TOTAL GFA - 46,941 m² **FSI -** 2.88

PROPOSED BUILDING SUMMARY				
UILDING BUILDING TYPE TOTAL GFA (m ²				
ELOW-GRADE NON-PARKING		2,156 m ²		
LDG 'A'	RESIDENTIAL	15,354 m²		
LDG 'B'	HOTEL & RETAIL	12,715 m ²		
LDG 'C'	RESIDENTIAL	16,716 m ²		
OTAL	46,941 m ²			

PARKING & LOADING

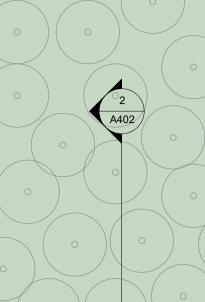
		6.1 CAR PAI	RKING SUMMARY	
RESIDENTIAL	VISITOR	OUTDOOR VISITOR	TOTAL ON-SITE Parking	STREET
427	197	13	637	21

G	E	

LOADING SUMMARY TOTAL CAR Parking Туре Count TYPE 'G' LOADING 1 TYPE 'B' LOADING 658 TYPE 'C' LOADING 3

PERCENTAGE OF NET SITE AREA 29%

<u>SITE PLAN</u>	LEGEND
	PROPERTY LINE
	TOP OF SLOPE
	6m SET BACK
	DESIGNATED P.O.P.S. (PRIVATELY OWNED PUBLIC SPACE)
\bigotimes	LAND CONVEYANCE
	MAIN RES ENTRANCE
\bigtriangleup	RES ENTRANCE
	NON-RES ENTRANCE
	EXIT
	VEHICULAR ENTRANCE/EXIT



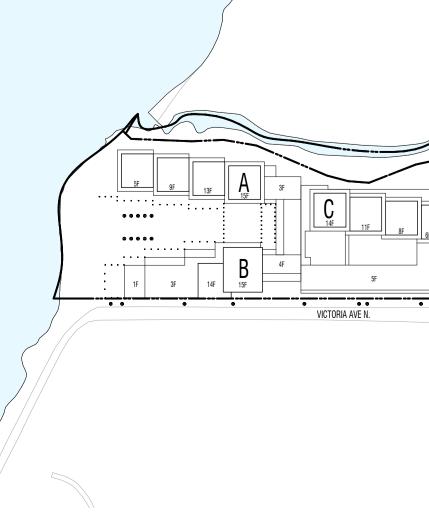
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FEATURE PAVERS, PERMEABLE
PERMEABLE PAVERS WITH SRI \geq 29
CONCRETE PAVING SRI VALUE : 29 OR BETTER
Concrete Paving Sri Value : 29 or Better
WOOD DECKING SRI VALUE : 29 OR BETT
ARTIFICIAL TURF GRASS / DOG RELIEF AF

	BIC
	BLA
	CON SRI
98989888 80808080	BAL
	INTE

REFER TO LANDSCAPE PLAN FOR HARDSCAPE AND

PLANTING DETAILS



NOTES

- A TRAINED ON-SITE STAFF MEMBER MUST BE AVAILABLE TO MANOEUVRE BINS FOR THE COLLECTION DRIVER AND ALSO ACT AS A FLAGMAN WHEN THE TRUCK IS REVERSING. IN THE EVENT THE ON-SITE STAFF MEMBER IS UNAVAILABLE AT THE TIME THE CITY COLLECTION VEHICLES ARRIVAL AT THE SITE, THE COLLECTION VEHICLE WILL LEAVE THE SITE AND NOT RETURN UNTIL
- TYPE G LOADING 6.1m MINIMUM VERTICAL CLEARANCE. MINIMUM 200mm THICK REINFORCED CONCRETE SLAB IN LOADING SPACE AND STAGING AREA. FLOOR GRADE NOT TO EXCEED +/-2%

THE NEXT SCHEDULED COLLECTION DAY.

- THE OVERHEAD DOOR ADJACENT TO THE TYPE G LOADING AREA WILL BE OPEN UPON THE ARRIVAL OF THE TRUCK TO ALLOW IT TO REVERSE FORM THE TYPE G LOADING AREA ENABLING IT TO EXIT THE SITE IN A FORWARD MOTION.
- A WARNING SYSTEM IS TO BE PROVIDED TO CAUTION MOTORISTS LEAVING THE PARKING GARAGE OF HEAVY VEHICLES WHEN LOADING. SYSTEM TO INCLUDE LIGHTS AND SIGNS.
- ALL ACCESS DRIVEWAYS TO BE USED BY THE COLLECTION VEHICLE TO HAVE A MAXIMUM GRADIENT OF 8%, HAVE A MINIMUM VERTICAL CLEARANCEOF 4.4 METERS THROUGHOUT, A MINIMUM WIDTH OF 4.5 METERS THROUGHOUT AND BE 6 METERS WIDE AT POINT OF INGRESS AND EGRESS.
- PROPOSED ACCESS ROUTE FOR WASTE COLLECTION VEHICLE TO HAVE MINIMUM 4.4M VERTICAL CLEARANCE THROUGHOUT AND DESIGNED TO SAFELY SUPPORT 35,000 KG.
- STRUCTURAL ENGINEER TO DESIGN AREA TO CONFORM AS FOLLOWS: (A) DESIGN CODE -ONTARIO BUILDING CODE (B) DESIGN LOAD -CITY BULK LIFT VEHICLE IN ADDITION TO BUILDING CODE REQUIREMENTS (C) IMPACT FACTOR -5% FOR MAX. VEHICULAR SPEEDS TO 15KM/H AND 30% FOR HIGHER SPEEDS
- NON-RESIDENTIAL COMPONENT WILL ONLY SCHEDULE USE OF THE TYPE G LOADING SPACE ON DIFFERENT DAYS FROM THE COLLECTION DAYS OF THE RESIDENTIAL COMPONENT TO ENSURE THAT THE TYPE G LOADING SPACE WILL BE VACANT FOR CITY WASTE COLLECTION.
- 4-FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- FIRE ACCESS ROUTE MIN. 6m WIDE WITH 5m HEIGHT CLEARANCE, CHANGE IN GRADIENT NOT MORE THAN 8% IN 15m; LOAD SUPPORT SUFFICIENT FOR EQUIPMENT; SURFACE TO BE ACCESSIBLE IN ALL CLIMATICE CONDITION FOR ALL TRUCK DIAGRAM MOVEMENT REFER TO TRAFFIC CONSULTANT REPORT -PATH SHOWN FOR CONTEXT
- BE ADVISED THAT SHOULD ANY PARTY INCLUDING THE OWNER OR ANY SUBSEQUENT OWNER , APPLY FOR MORE THAN ONE CONDOMINIUM CORPORATION ENCOMPASSING ANY OR ALL OF THIS DEVELOPMENT OR MAKE AN APPLICATION THAT RESULTS IN A LAND DIVISION, STAFF MAY REQUIRE LEGAL ASSURANCES, INCLUDING BUT NOT LIMITED TO EASEMENTS, WITH RESPECT TO THE APPROVED SERVICES. SUCH ASSURANCES WILL BE DETERMINED AT THE TIME OF APPLICATION FOR CONDOMINIUM APPROVAL

CON	OPEN SPACE (OS) and NSERVATION (EZ) ZONES	
ZONE	GENERAL COMME	ERCIAL (GC) ZONE
DESCRIPTION	REQUIRED	PROPOSED
PERMITTED USE	1,000m2	NT, COMMERCIAL 16.229m2
MIN. LOT FRONTAGE	15m	226m
MIN. FRONT YARD SETBACK	3.0m	0.0m, EXCEPT, 3.0 TO A DWELLING UNIT
MIN. INTERIOR SIDE YARD SETBACK	4.5m	6.0m
	EXCEPT THAT WHERE THE INTERIOR SIDE YARD ABUTS R1 OR R2 ZONE, ANY PORTION OF THE HEIGHT OF A BUILDING IS GREATER THAN 15 METRES SHALL BE SETBACK A MINIMUM DISTANCE OF THE HEIGHT OF THE BUILDING	15.0m
MIN. EXTERIOR SIDE YARD SETBACK	3.0m	ā
MIN. REAR YARD SETBACK	7.5m EXCEPT THAT WHERE THE REAR YARD ABUTS R1 OR R2 ZONE, ANY PORTION OF THE HEIGHT OF A BUILDING IS GREATER THAN 15 METRES SHALL BE SETBACK A MINIMUM DISTANCE OF THE HEIGHT OF THE BUILDING	5.0m
MAX. FRONT AND	6.0m	12.0m
MIN, SETBACK TO STABLE TOP OF BANK	- 40%	6.0m N/A
MAX. LOT COVERAGE MAX. BUILDING HEIGHT	40% 12.5m	N/A 54m
MIN. BUILDING HEIGHT	N/A	N/A
MIN. LANDSCAPED OPEN SPACE MAX. OVERALL	20%	0.15%
BUILDING AREA MIN. PERCENTAGE OF WINDOWS AND DOORS ALONG ANY FAÇADE FACING ANY	N/A 25%	N/A MIN. 25% OF BUILDIN FAÇADE FACING PUBLIC STREET SHA BE OCCUPIED BY GLAZING, DOORS,
STREETLINE MIN. WINDOW HEIGHT ON WINDOWS FACING	1.8m	AND/OR GREEN WAL
ANY STREETLINE MAX. WINDOW SILL HEIGHT ON WINDOWS FACING ANY STREETLINE	1.8m	1.
	MAX. 1,000m2 PER INDIVIDUAL USE ON	MAX. 1,500m2 PE INDIVIDUAL USE C
RETAIL USE AREA MIN. PLANING STRIP	GROUND FLOOR	GROUND FLOOP
WIDTH ADJACENT TO R1 AND R2 ZONE	3.0m	3.0m 4.0m2 PER
MIN. AMENITY AREA MAX. DWELLING UNITS AREA ON GROUND FLOOR PARKING	(-	DWELLING UNITS DWELLING UNITS M/ BE PERMITTED ON TI GROUND FLOOR PROVIDED THEY DO NOT OCCUPY MORI THAN 50% OF THE GROUND FLOOR OI THE BUILDING, APPLICABLE TO ALI PHASES COLLECTIVELY.
REQUIRED PARKING SPACES		
DWELLING UNIT IN A MIXED USE	1 PER UNIT	1 PER UNIT PLUS 0.1 VISITOR SPACE
DEVELOPMENT	1 SPACE PER GUEST	PER UNIT 0.75 PER HOTEL
HOTEL	ROOM 1 SPACE PER 30m2 OF GROSS FLOOR	SUITE 1 SPACE PER 30m OF PUBLIC FLOO
BAR (OTHER)	AREA 1 SPACE PER 30m2	AREA 1 SPACE PER 30m
CAFÉ (OTHER)	OF GROSS FLOOR AREA 1 SPACE PER 30m2	OF PUBLIC FLOO AREA 1 SPACE PER 30m
RETAIL	OF GROSS FLOOR AREA	OF PUBLIC FLOO AREA
PLACE OF ENTERTAINMENT	1 SPACE PER 6 SEATS OR 1 SPACE PER 10m2 OF GROSS FLOOR AREA	1 SPACE PER 20m OF PUBLIC FLOO AREA
	DINING: 1 SPACE PER 4.5m2 OF	1 SPACE PER 10m OF PUBLIC FLOO
RESTAURANT	PUBLIC FLOOR AREA 1 SPACE PER 30m2 OF GBOSS FLOOR	AREA 1 SPACE PER 30m OF PUBLIC FLOO
PERSONAL SERVICE USE	OF GROSS FLOOR AREA IN ACCORDANCE	OF PUBLIC FLOO AREA IN ACCORDANCE
ALL OTHER USES ACCESSIBLE PARKING SPACES	WITH PROVISIONS OF SECTION 4 0-12 REQUIRED: 1 TYPE A	WITH PROVISION OF SECTION 4
	13-100 REQUIRED: 4% OF REQUIRED; 50% TYPE A AND 50% TYPE B	a
	100-200 REQUIRED: 1 + 3% OF	NOT SHOWN IN CURRENT PRELIMINARY
	REQUIRED; 50% TYPE A AND 50% TYPE B 201-1000 REQUIRED;	CONCEPT PLAN BUT WILL BE PROVIDED.
MIN. PARKING SPACE	2 + 2% OF REQUIRED; 50% TYPE A AND 50% TYPE B	E Carlos C
SIZE MIN. BARRIER-FREE ACCESSIBLE SPACE	5.8m x 2.75m TYPE A: 3.4m x 5.5m	5.6m x 2.6m
SIZE	TYPE B: 2.75m x	
MIN. BARRIER-FREE	5.5m	
ACCESSIBLE AISLE WIDTH MIN. TWO-WAY TRAFFIC AISLE	1.5m 6.7m	6.0m
MIN. PARKING SETBACK FROM ANY STREETLINE OR REAR LOT LINE MIN. PARKING	3.0m	3.0m FROM STREETLINE
SETBACK FROM A RESIDENTIAL OR INSTITUTIONAL ZONE	3.0m DWELLING UNIT IN A MIXED USE	3.0m
REQUIRE BICYCLE PARKING SPACES	DEVELOPMENT: 0.25 SPACES PER DWELLING UNIT HOTEL: 1.0 SPACES PER 100m2 OF	0.15 LONG-TERN SPACE PER DWELLING UNIT
	GROSS FLOOR AREA OTHER: 1.0 SPACES PER 200m2 OF GROSS FLOOR AREA	ž
	RETAIL: 1.0 SPACES PER 200m2 OF GROSS FLOOR AREA PLACE OF ENTERTAINMENT: -	3 14
	ENTERTAINMENT: - EATING ESTABLISHMENT: 1.0 SPACES PER 100m2 OF GROSS FLOOR	
	AREA PERSON SERVICE	
	USE: -	
ENCROACHMENTS		
ENCROACHMENTS BALCONIES, CANOPIES, DROP AWNINGS, UNENCLOSED PORCHES	2.0m	2.5m INTO ANY REQUIRED YARD, EXCEPT 2.0m INTO AI REQUIRED YARD ABUTTING AN R1 AND/OR R2 ZONE

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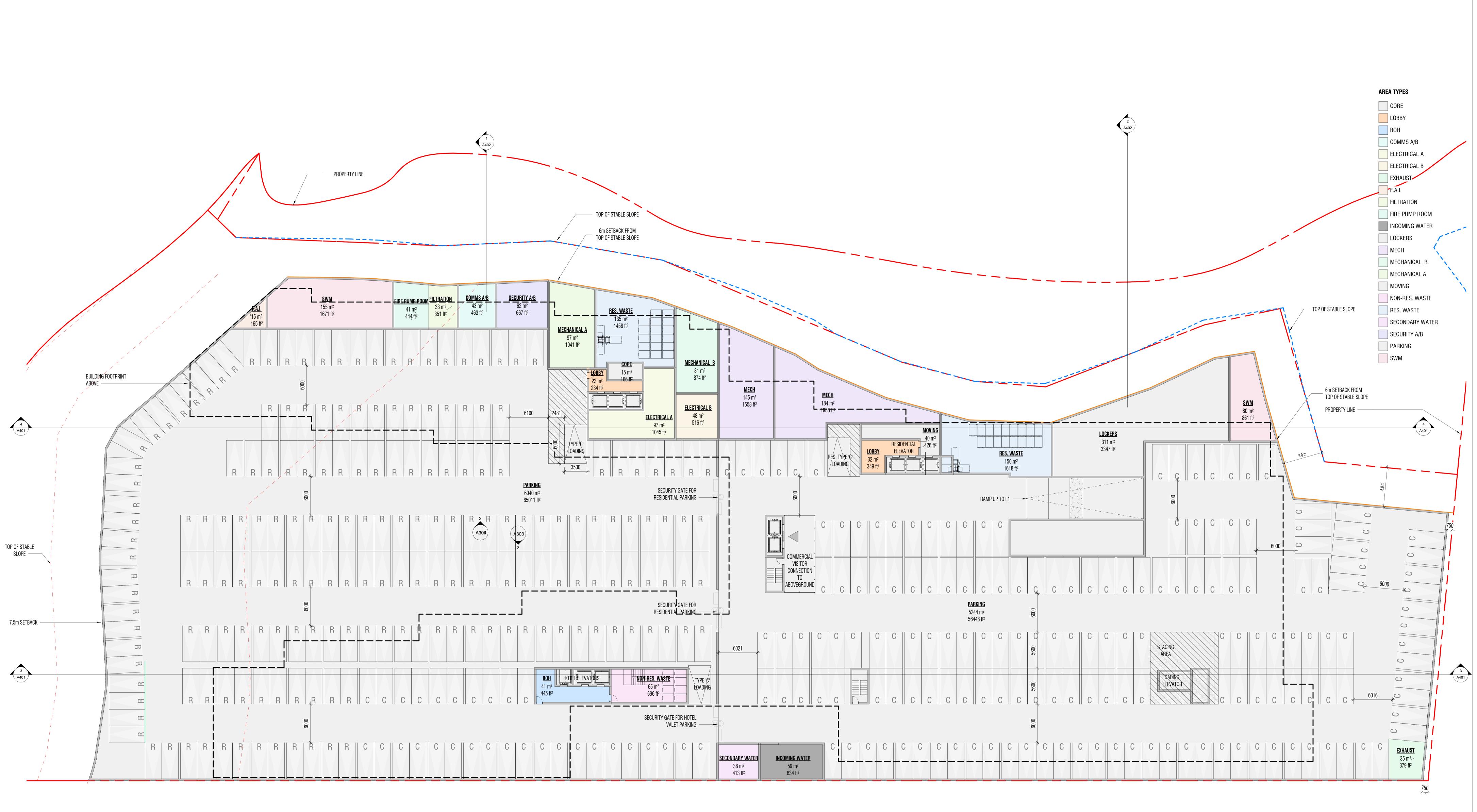
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SCALE As indicated

PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

GROUND FLOOR SITE PLAN





3 (A304)

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Mechanical and Electrical Drawings. In cases of

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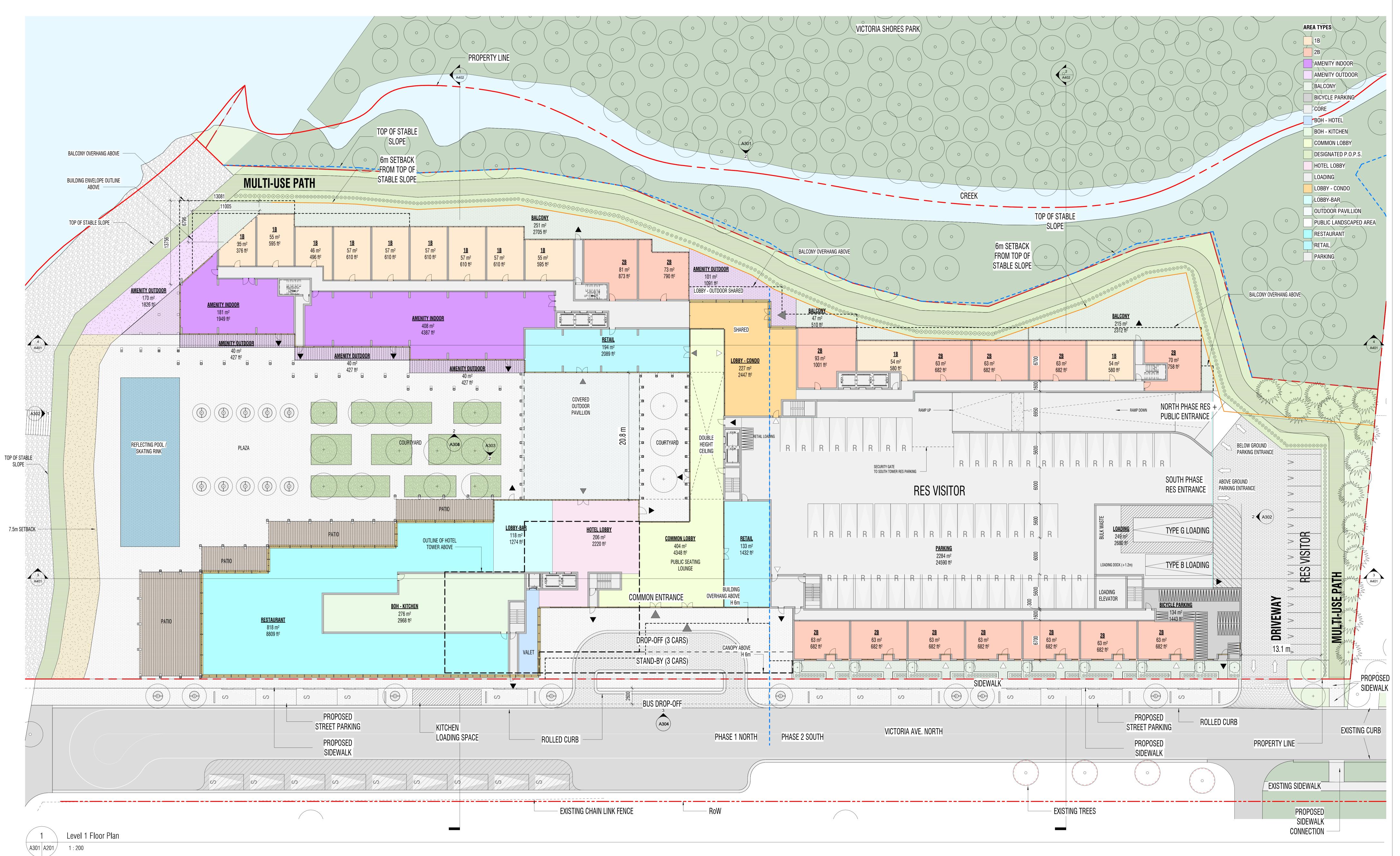
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Project North True North

SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

LEVEL P1 Floor plan



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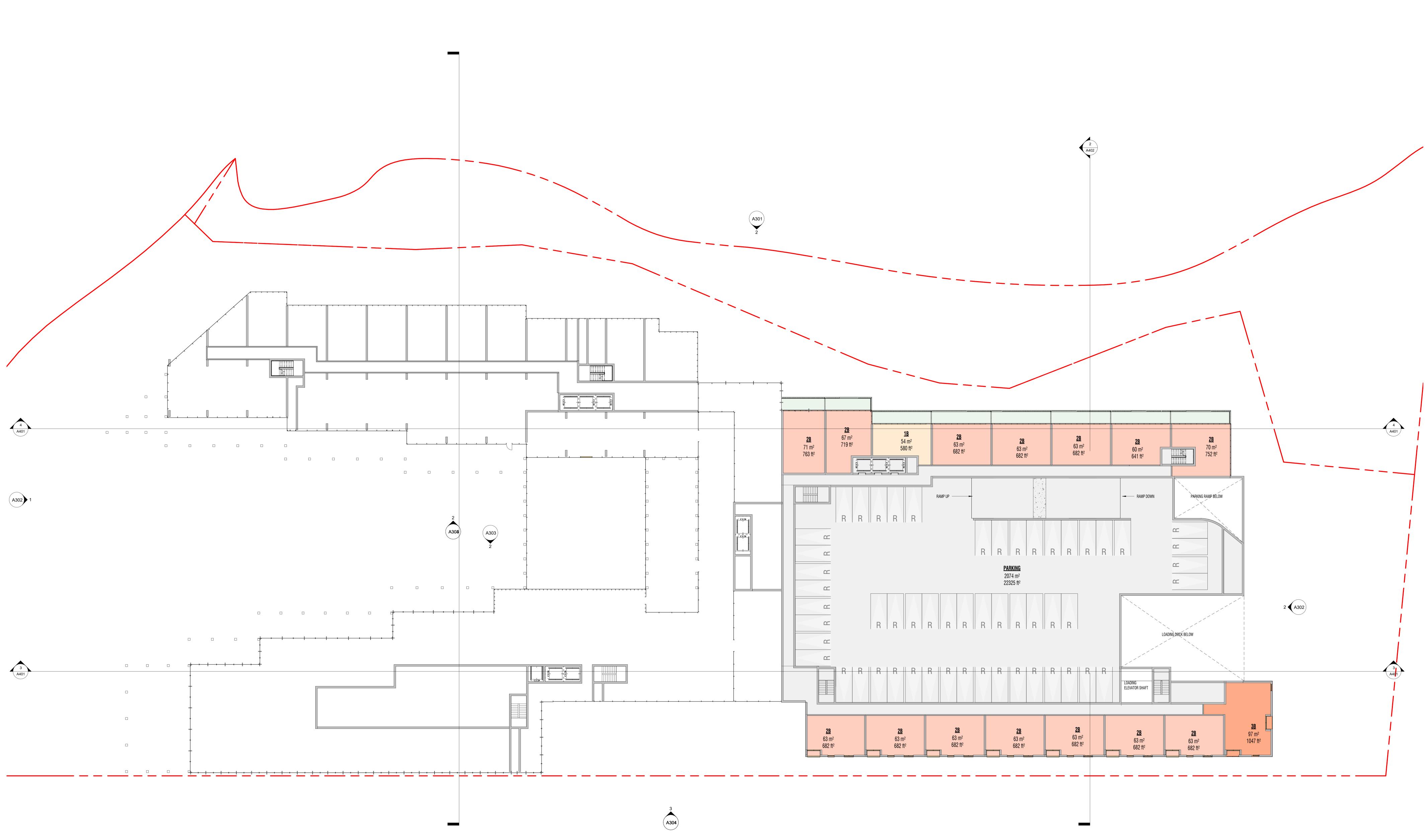
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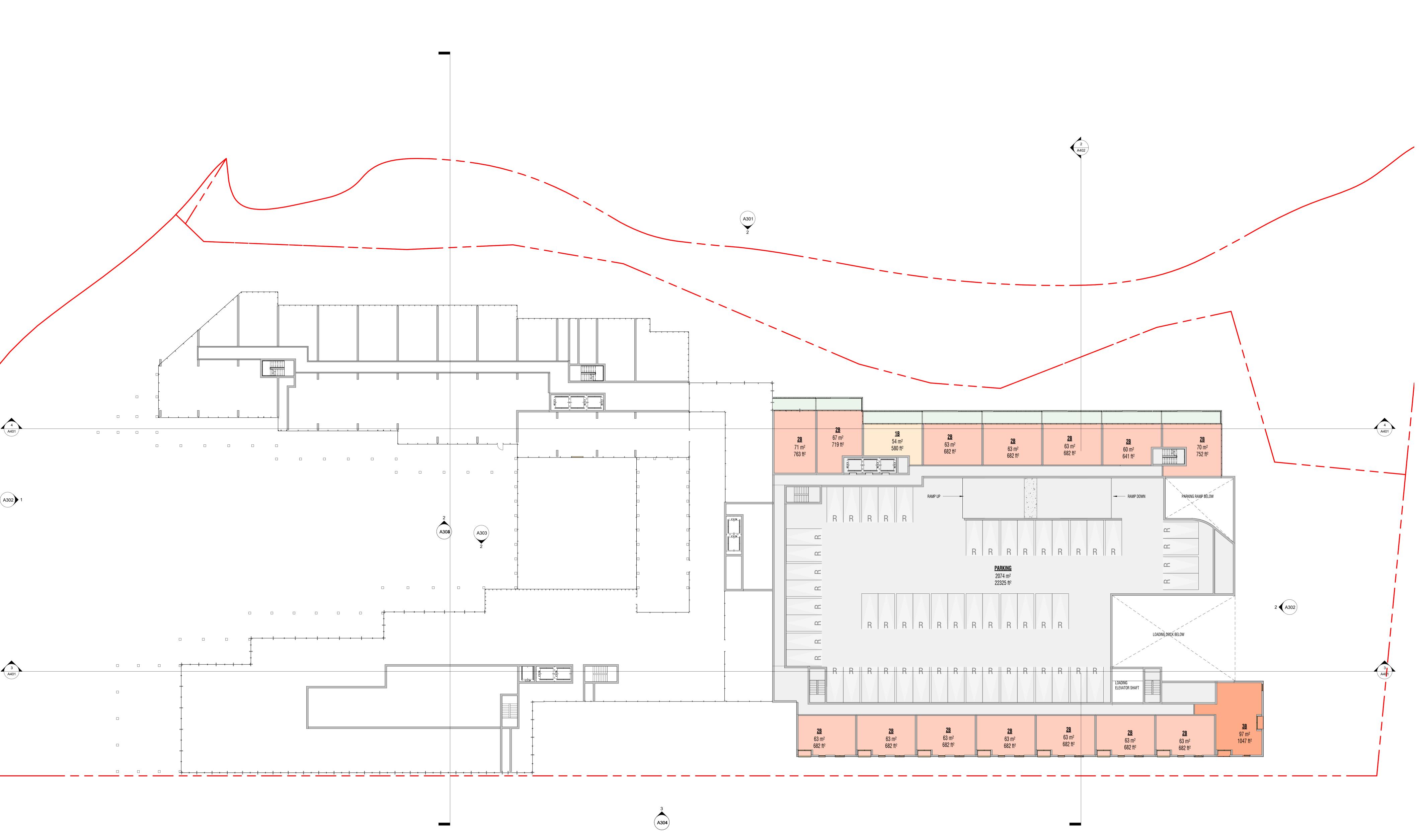
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LEVEL 1 FLOOR Plan







Level 1M Floor Plan 1 A301 A201M 1 : 200

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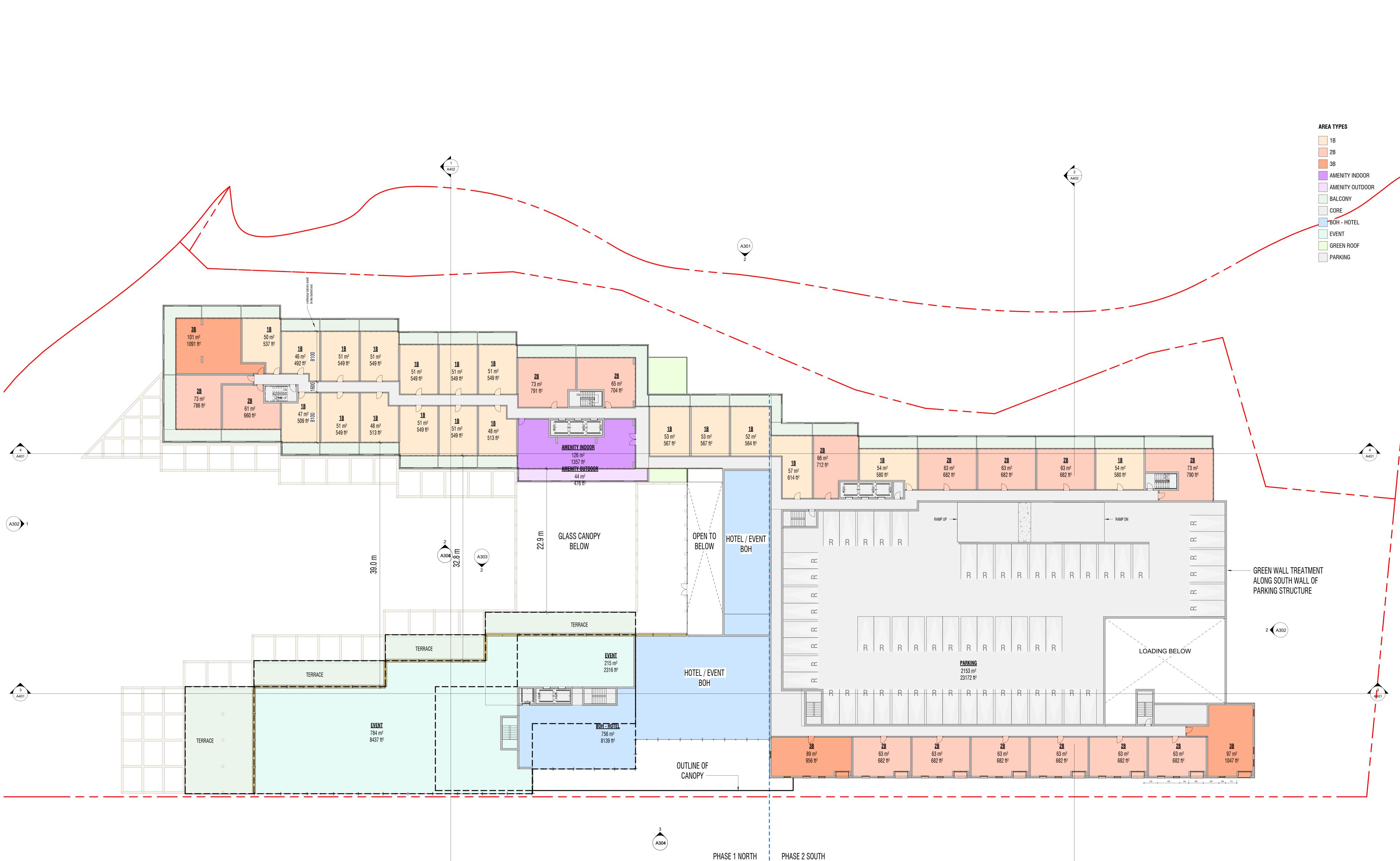
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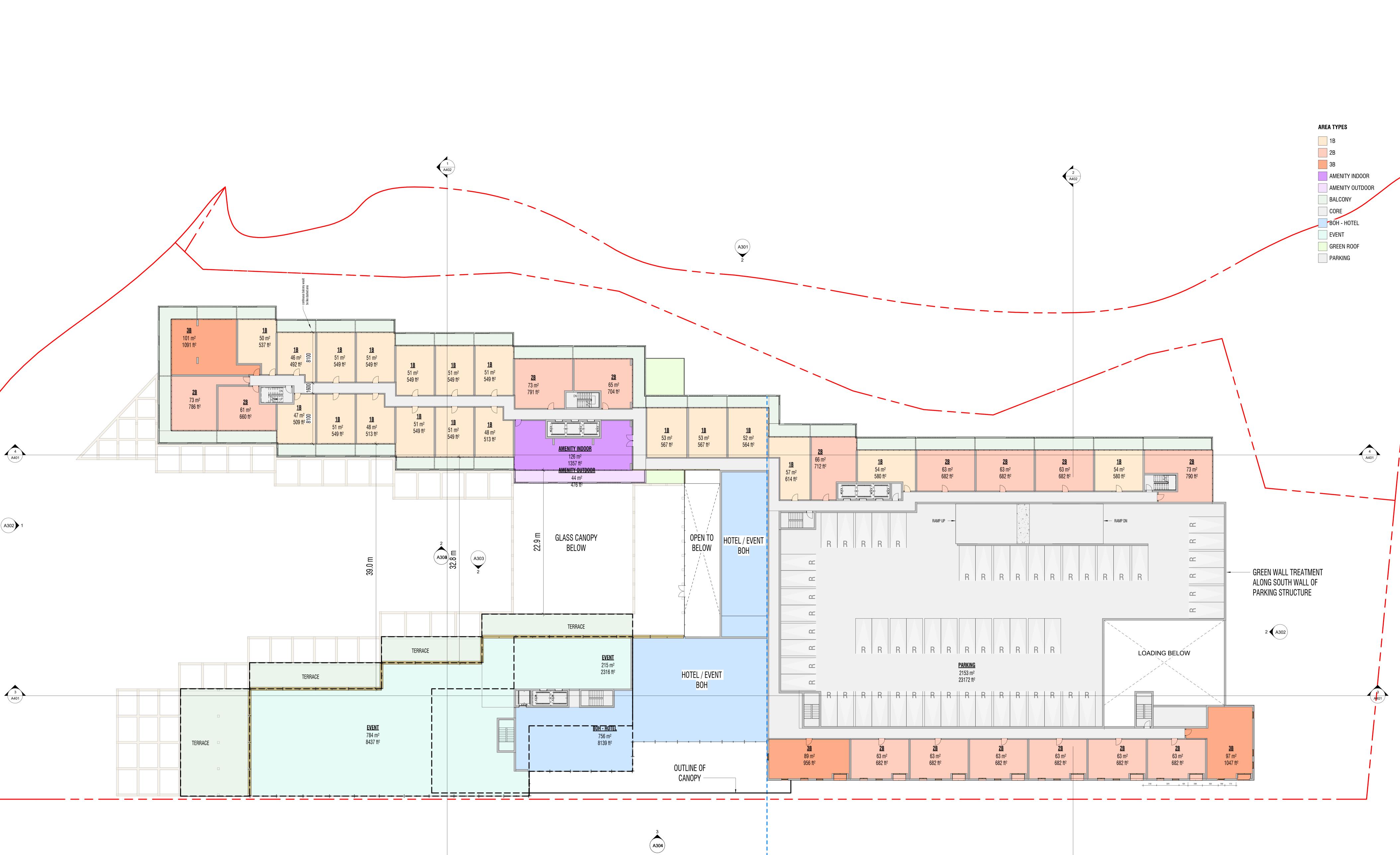
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LEVEL 1M **FLOOR PLAN**

A201M





A301 A202 1 : 200

Level 2 Floor Plan

PHASE 2 SOUTH

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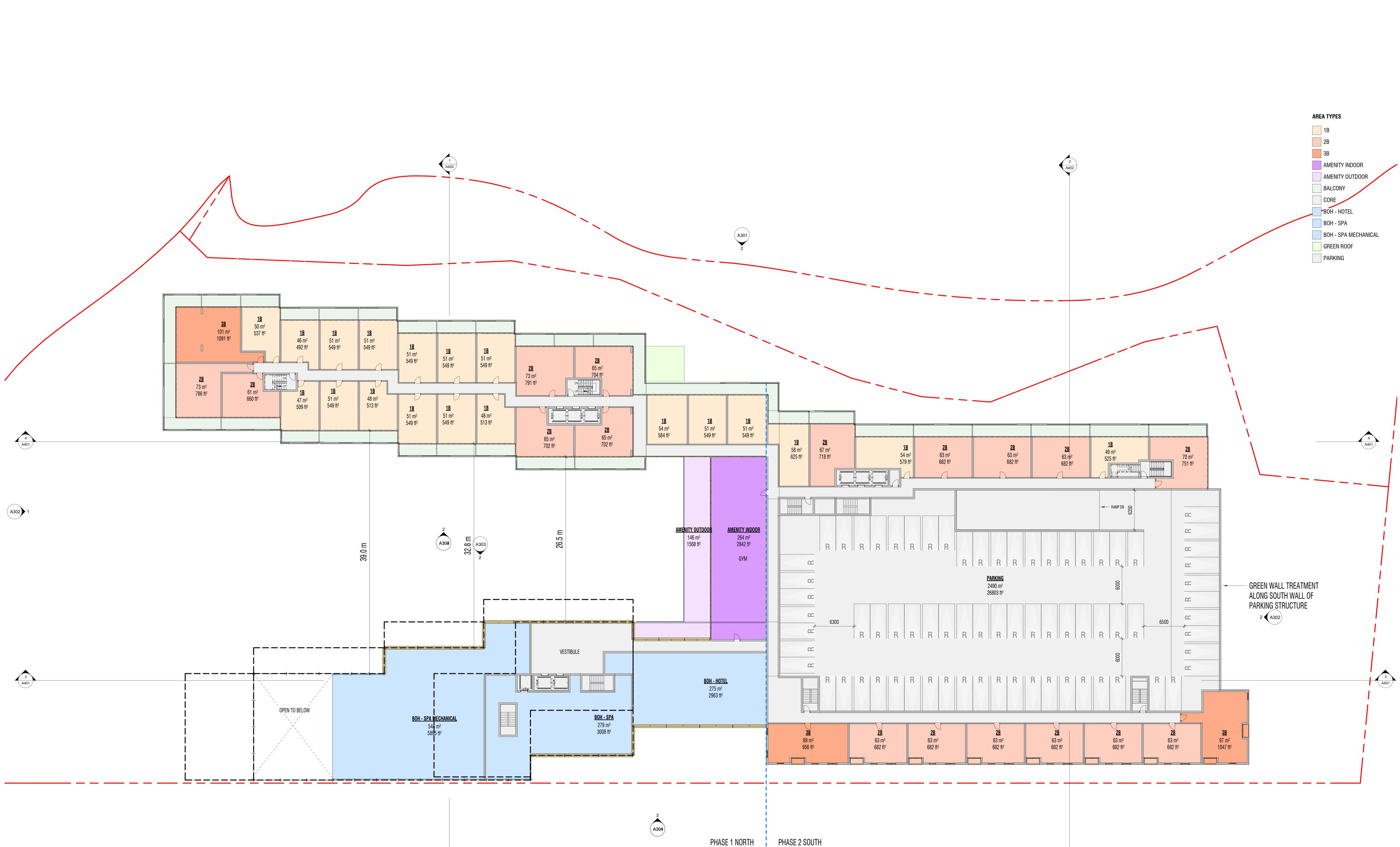
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LEVEL 2 FLOOR PLAN



A301 A203 1 : 200

Level 3 Floor Plan

PHASE 2 SOUTH

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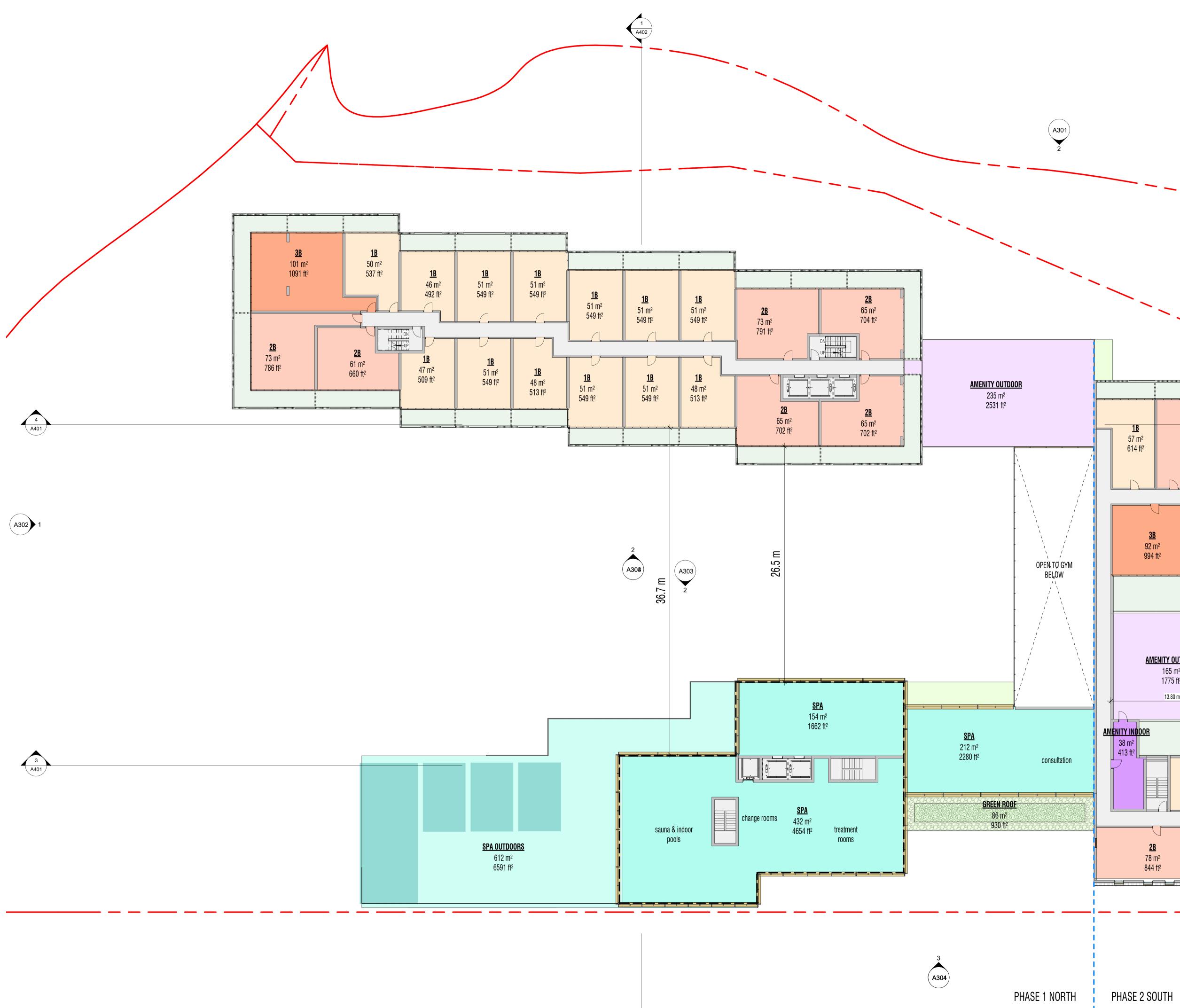
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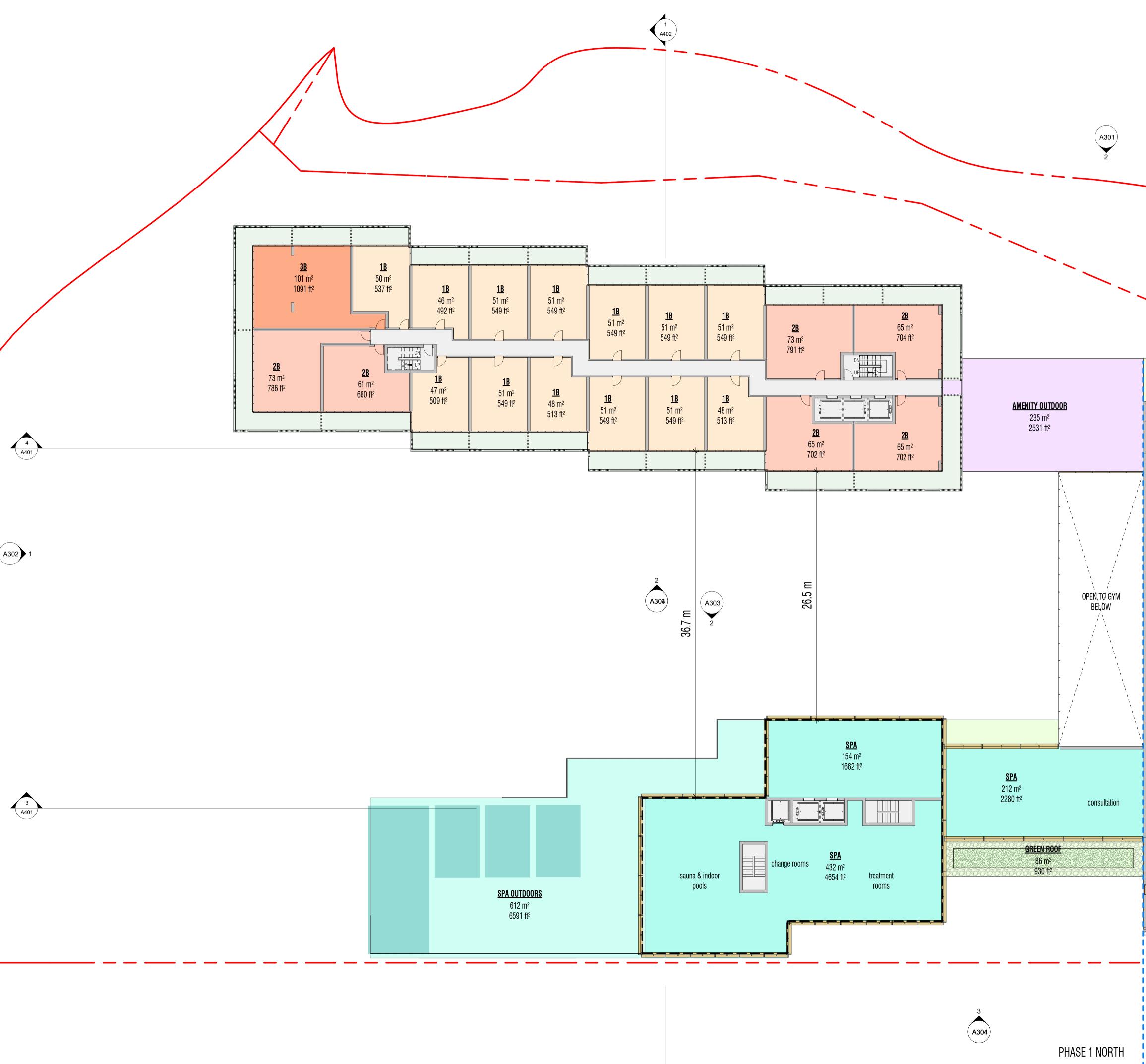
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LEVEL 3 FLOOR PLAN

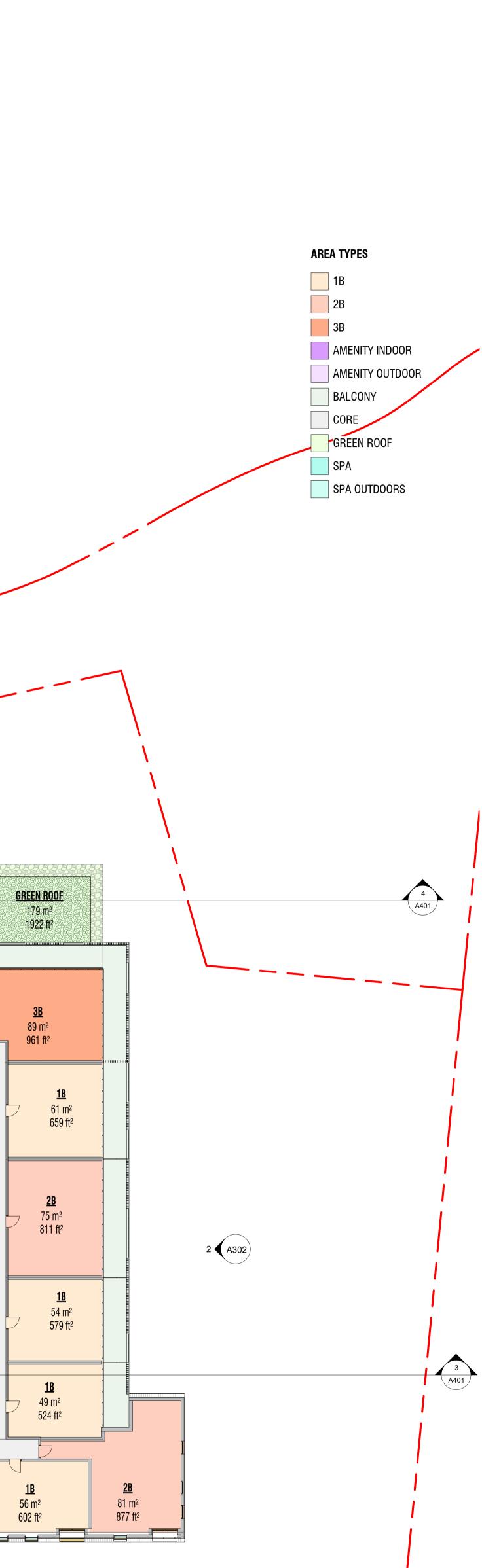




/ **1** \ A301 A204 1 : 200

Level 4 Floor Plan

				2 A402		
IB 2B 57 m² 67 m² 614 ft² 718 ft² 0 0	18 57 m² 615 ft² ↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓↓	1B 48 m² 513 ft² 1B 513 ft²	$ \begin{array}{c} 1B \\ 51 m^2 \\ 549 tt^2 \end{array} 51 m^2 \\ 549 tt^2 \end{array} 51 m^2 \\ 549 tt^2 \end{array} $ $ \begin{array}{c} 1B \\ 51 m^2 \\ 549 tt^2 \end{array} $ $ 51 m^2 \\ 549 tt^2 \end{array} $ $ \begin{array}{c} 1B \\ 51 m^2 \\ 549 tt^2 \end{array} $ $ 51 m^2 \\ 549 tt^2 $ $ 549 tt^2 $		1B 51 m² 549 ft² 1B 51 m² 549 ft²	
AMENITY OUTDOOR 165 m ² 1775 ft ² 13.80 m AMENITY INDOOR 38 m ² 413 ft ² 18 51 m ² 554 ft ²	1B 40 m ² 431 ft ²	GREEN ROOF 427 m ² 4601 ft ² 4601 ct ² 2B 60 m ² 646 ft ²	E 2B 60 m ² 646 ft ²	E C C C C C C C C C C C C C C C C C C C	1B 50 m ² 533 ft ²	
2B 78 m ² 844 ft ²	1 <u>B</u> 56 m ² 602 ft ²	1B 56 m ² 602 ft ²	1 <u>B</u> 56 m ² 602 ft ²	1B 56 m ² 602 ft ²	1B 56 m ² 602 ft ²	56



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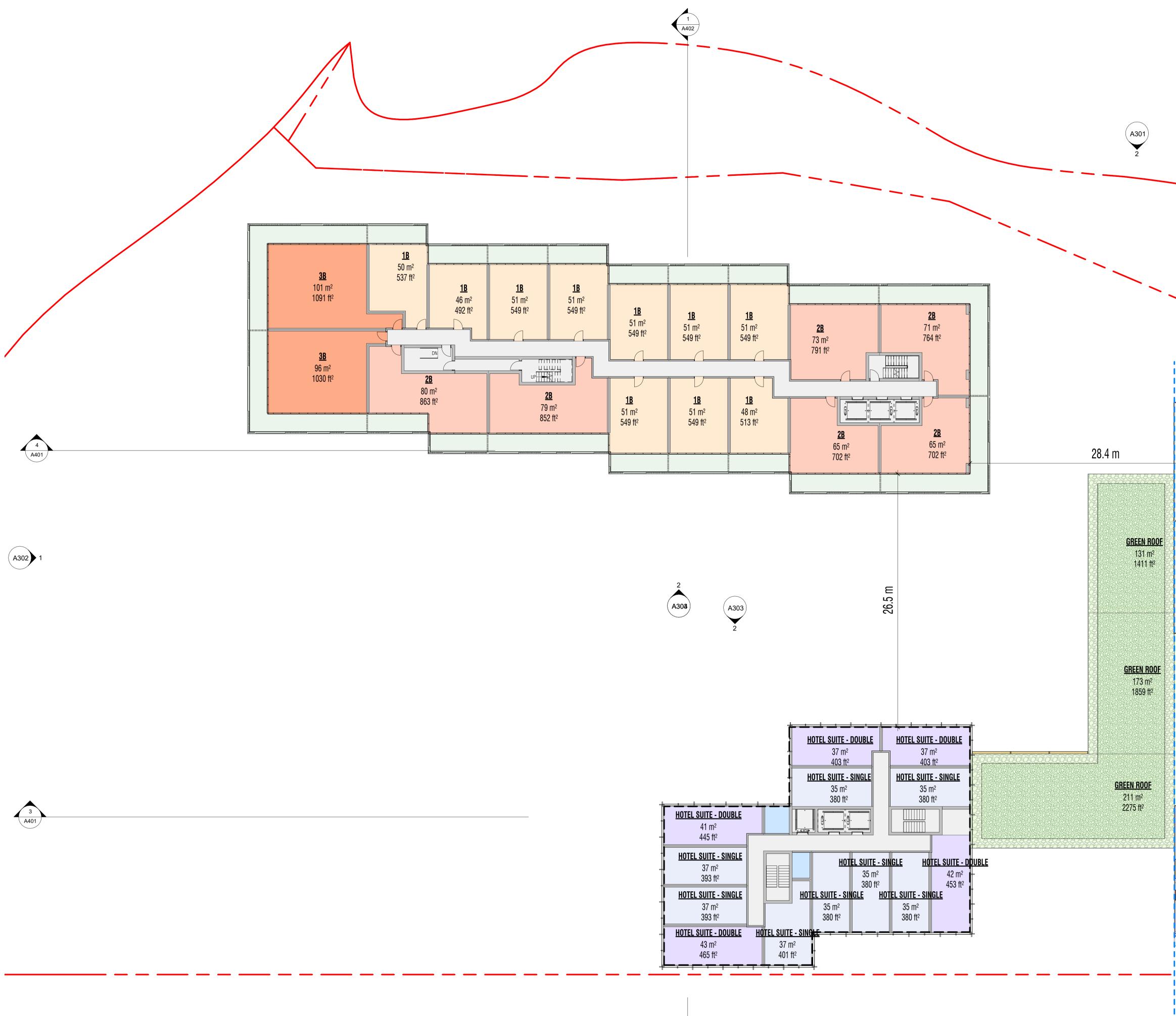
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LEVEL 4 FLOOR PLAN



 1
 Level 5

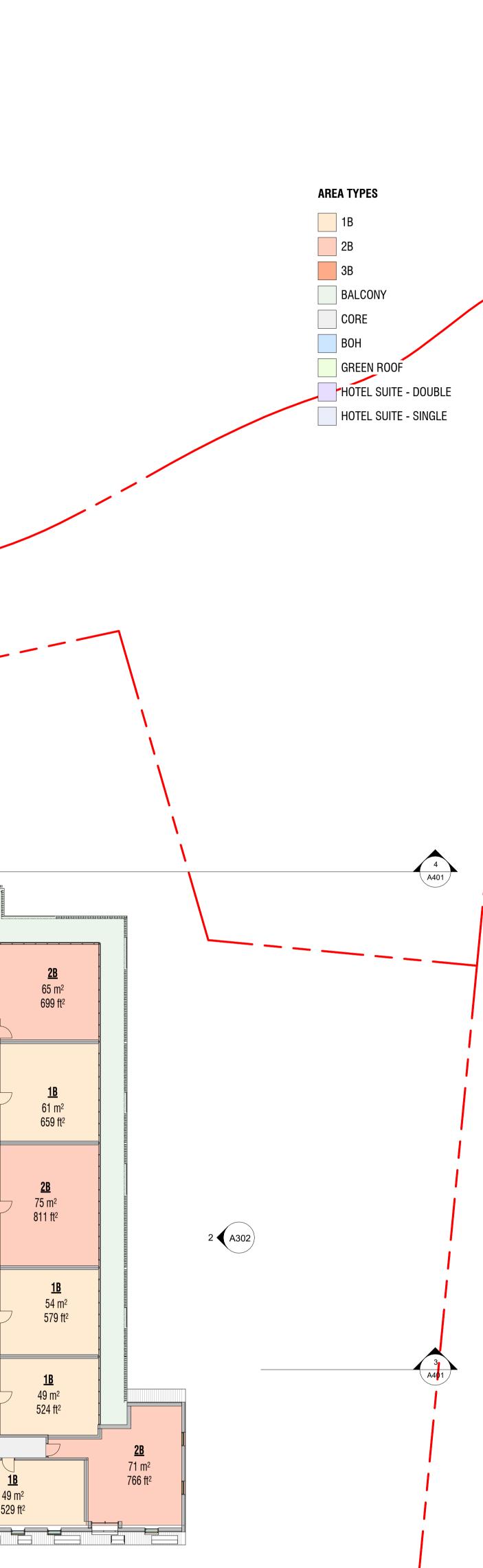
 A301
 A205
 1 : 200

Level 5 Floor Plan

A304

BALCONY 341 m ² 3670 ft ²	1B 51 m² 552 ft² 0 0 2B 72 m²	1B 57 m² 615 ft² 1B 48 r 513 1B 53 m² 575 ft² 1B		1B 51 m ²	1B 1B 8 m² 13 ft² 13 ft² 549 ft²	1B 42 m ² 450 ft ²
1B 49 m ² 527 ft ²		18 47 m ² 506 ft ²	$ \begin{array}{cccccccccccccccccccccccccccccccccccc$	51 m ² 549 ft ² 5 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	1B 1B 1 m² 51 m² 49 ft² 549 ft² 49 ft² 549 ft²	1B 51 m ² 549 ft ²
	2B 68 m ² 735 ft ²	1B 49 m ² 529 ft ²	1B 1B 49 m² 529 ft² 529 ft² 529 ft²	1 <u>B</u> 49 m 529 f	12 ft ² ft ² ft ² ft ² ft ²	1 n ² 49

PHASE 1 NORTH PHASE 2 SOUTH



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LEVEL 5 FLOOR PLAN



A302 1

3 A401

1 Level 6 A301 A206 1 : 200

Level 6 Floor Plan 1 : 200



PHASE 2 SOUTH

PHASE 1 NORTH

A304

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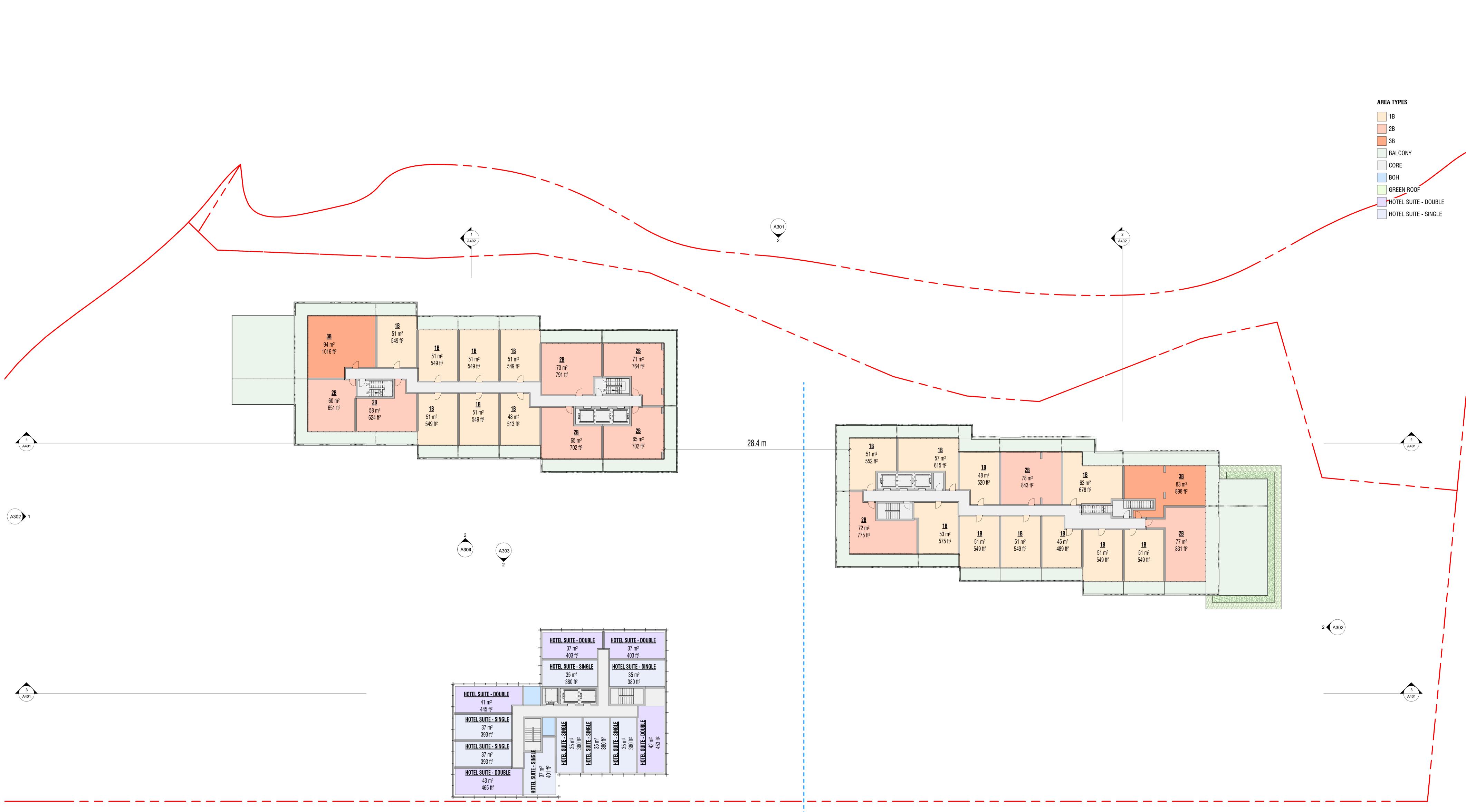
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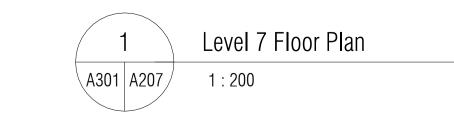
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LEVEL 6 FLOOR Plan







A304

PHASE 1 NORTH

PHASE 2 SOUTH

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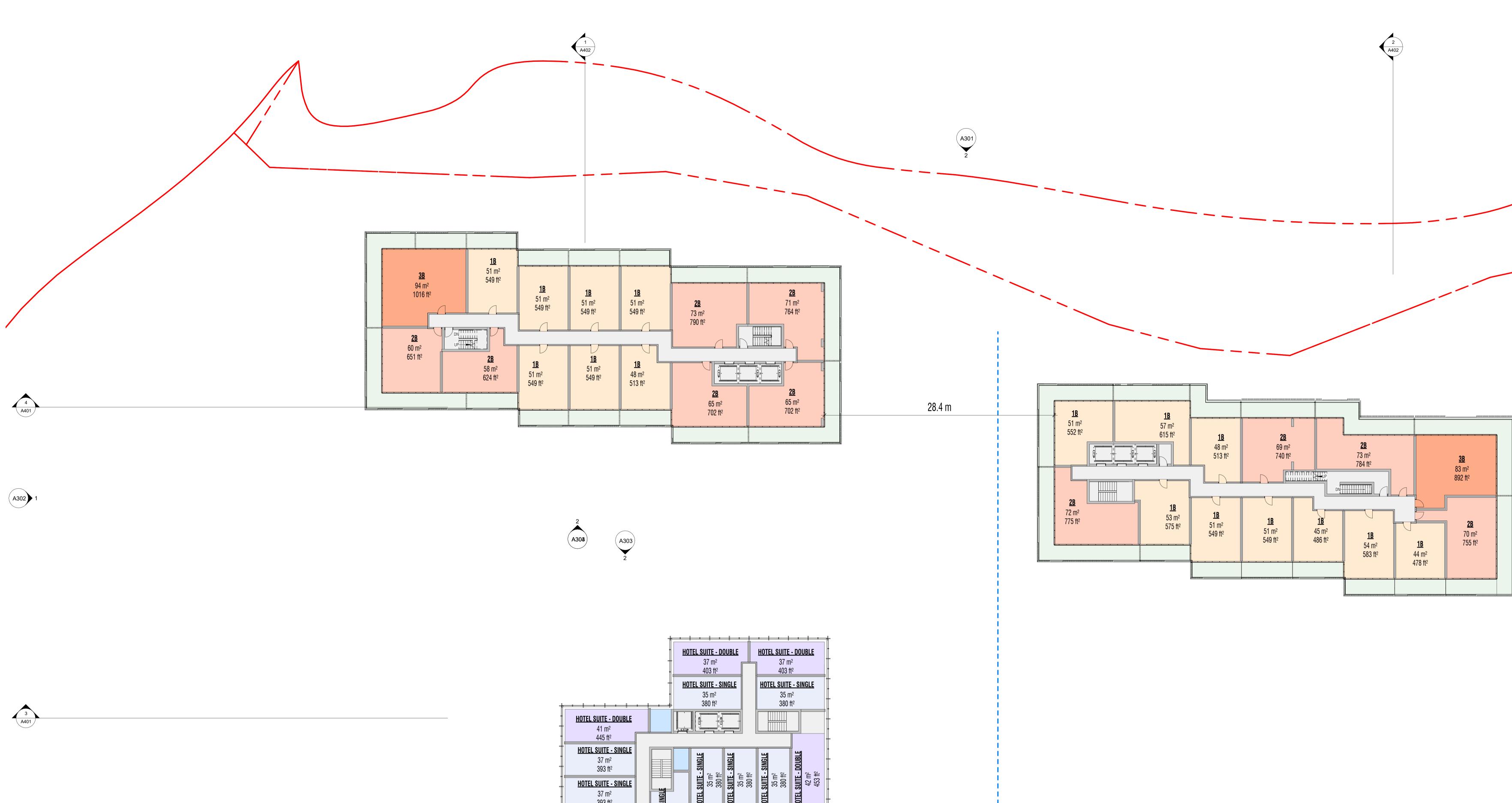
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LEVEL 7 FLOOR PLAN



1 LL A301 A208 1 : 200

Level 8 Floor Plan

	HOTEL SUITE - DOUBLE 37 m ² 403 ft ² 403 ft ² 37 m ² 403 ft ² 37 m ² 403 ft ²	
HOTEL SUITE - DOUBLE 41 m ²	HOTEL SUITE - SINGLE HOTEL SUITE - SINGLE 35 m² 35 m² 380 ft² 35 m² 380 ft² 380 ft²	
445 ft² HOTEL SUITE - SINGLE 37 m² 393 ft² HOTEL SUITE - SINGLE 37 m²	SINGLE HOTEL SUITE - SINGLE 35 m ² 380 ft ² 380 ft ² 380 ft ² 380 ft ² 380 ft ² 42 m ² 42 m ² 42 m ² 42 m ² 42 m ² 43 m ²	÷
393 ft ² HOTEL SUITE - DOUBLE 43 m ² 465 ft ²	HOTEL SUITE - SINGLE 37 m ² 37 m ² 401 ft ² HOTEL S	

A301

PHASE 1 NORTH PHASE 2 SOUTH

AREA TYPES 1B 2B 3B BALCONY CORE BOH HOTEL SUITE - DOUBLE HOTEL SUITE - SINGLE 4 A401 2 (A302) 3 A401

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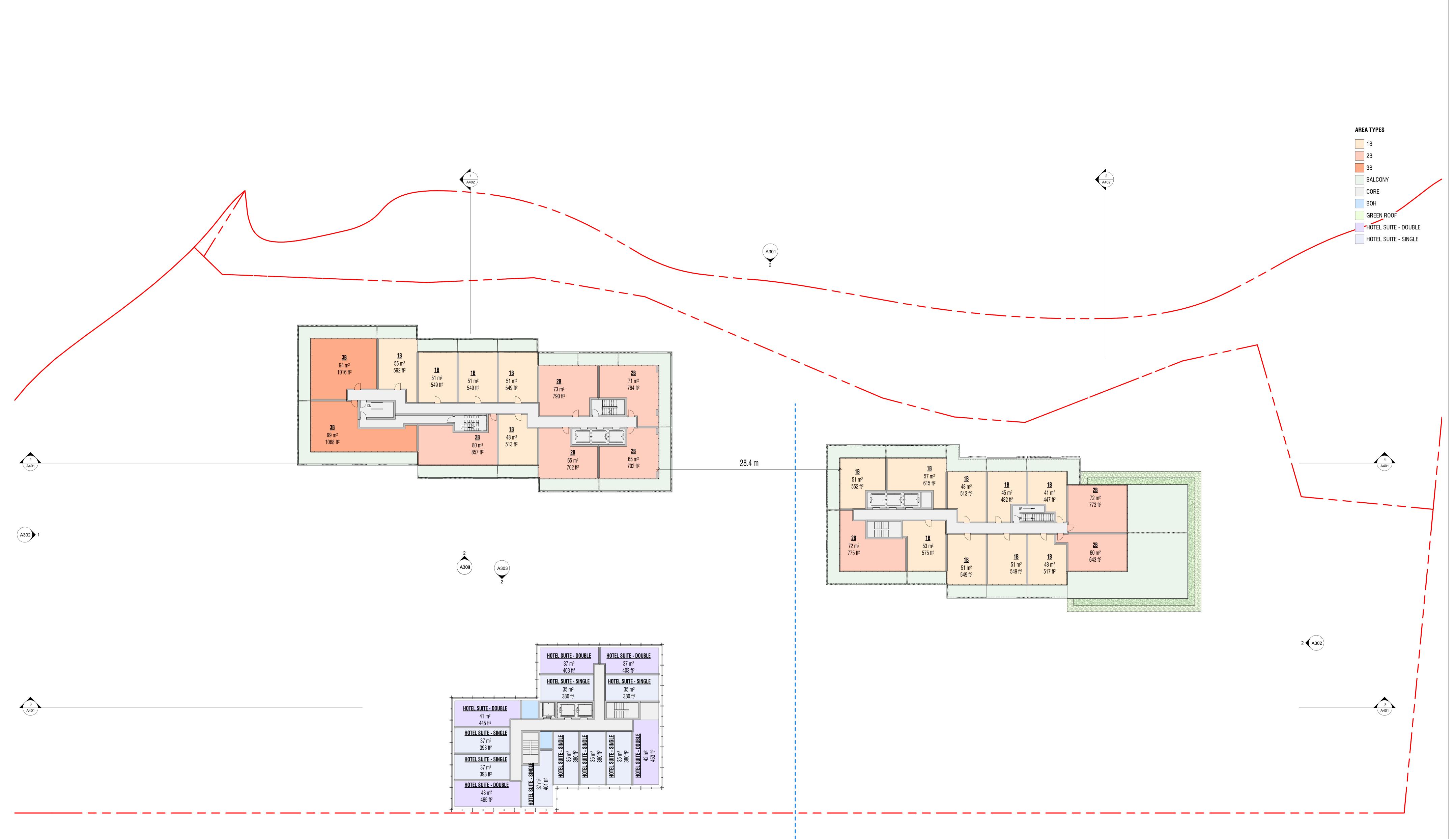
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LEVEL 8 FLOOR PLAN



1 Lu A301 A209 1 : 200

Level 9 Floor Plan

A301

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PHASE 2 SOUTH

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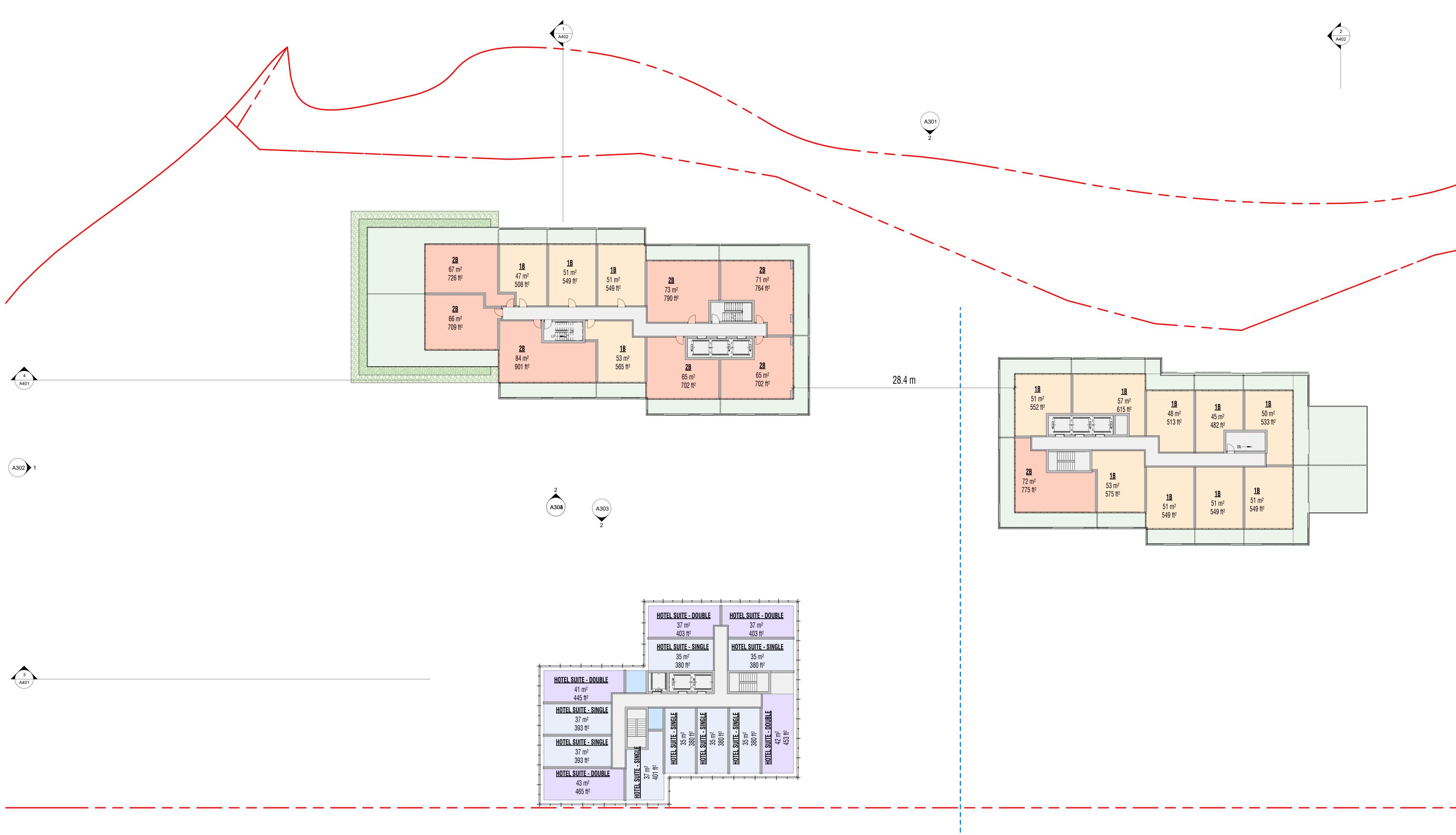
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LEVEL 9 FLOOR PLAN



1 Lu A301 A210 1 : 200

Level 10 Floor Plan

A301

PHASE 1 NORTH

PHASE 2 SOUTH

AREA TYPES 1B 2B BALCONY CORE ВОН GREEN ROOF HOTEL SUITE - DOUBLE 4 A401 2 A302 3 A401

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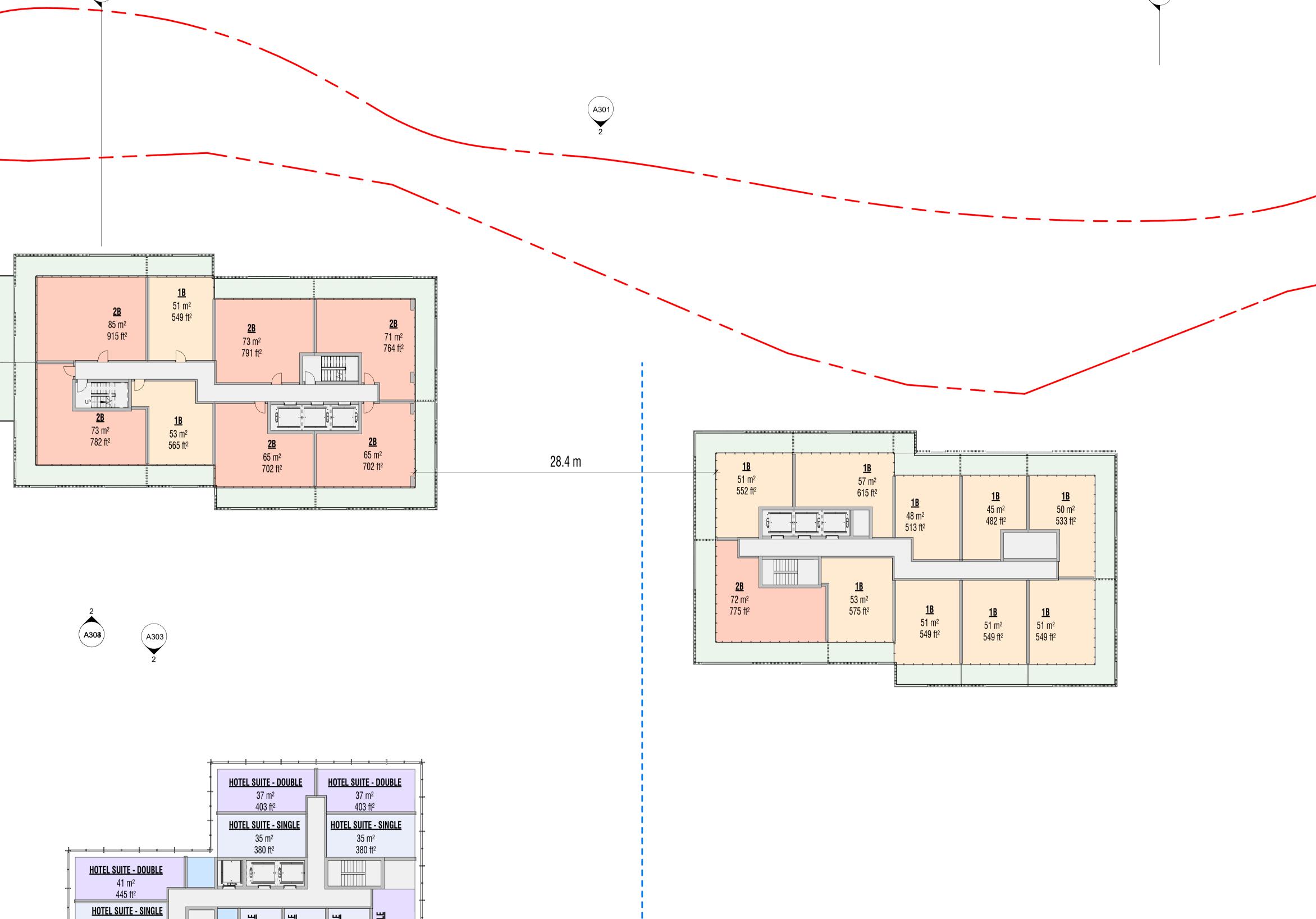
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LEVEL 10 FLOOR PLAN



 1
 Level 11 Floor Plan

 A301
 A211
 1 : 200



A301

35 m² 35 m² 380 ft² 301TE -42 m² 453 ft²

37 m² 393 ft²

<u>Hotel Suite - Single</u>

37 m² 393 ft²

HOTEL SUITE - DOUBLE 43 m² 465 ft²

PHASE 1 NORTH PHASE 2 SOUTH

AREA TYPES 1B 2B BALCONY CORE ВОН HOTEL SUITE - DOUBLE HOTEL SUITE - SINGLE 4 A401 2 A302 3 A401

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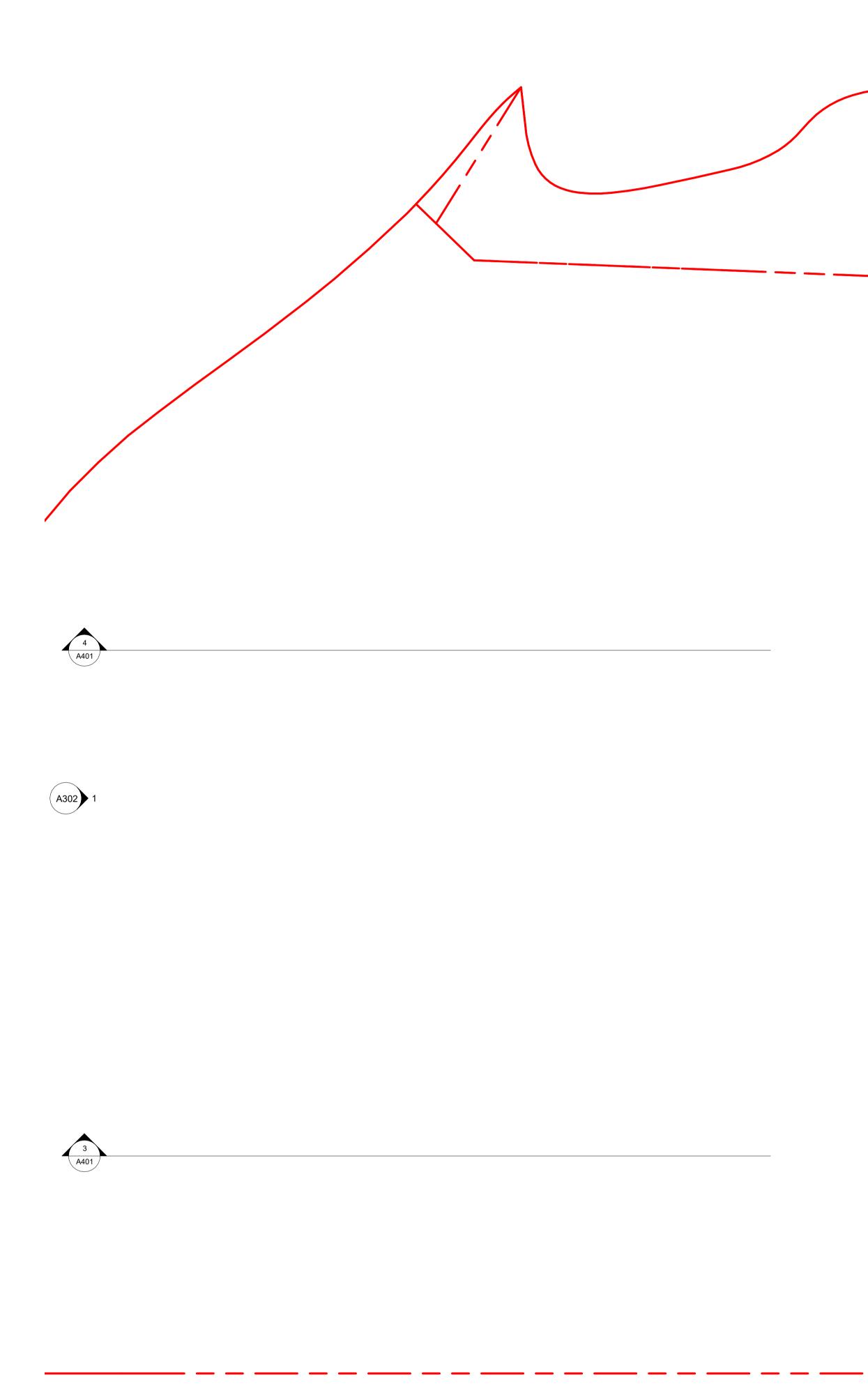
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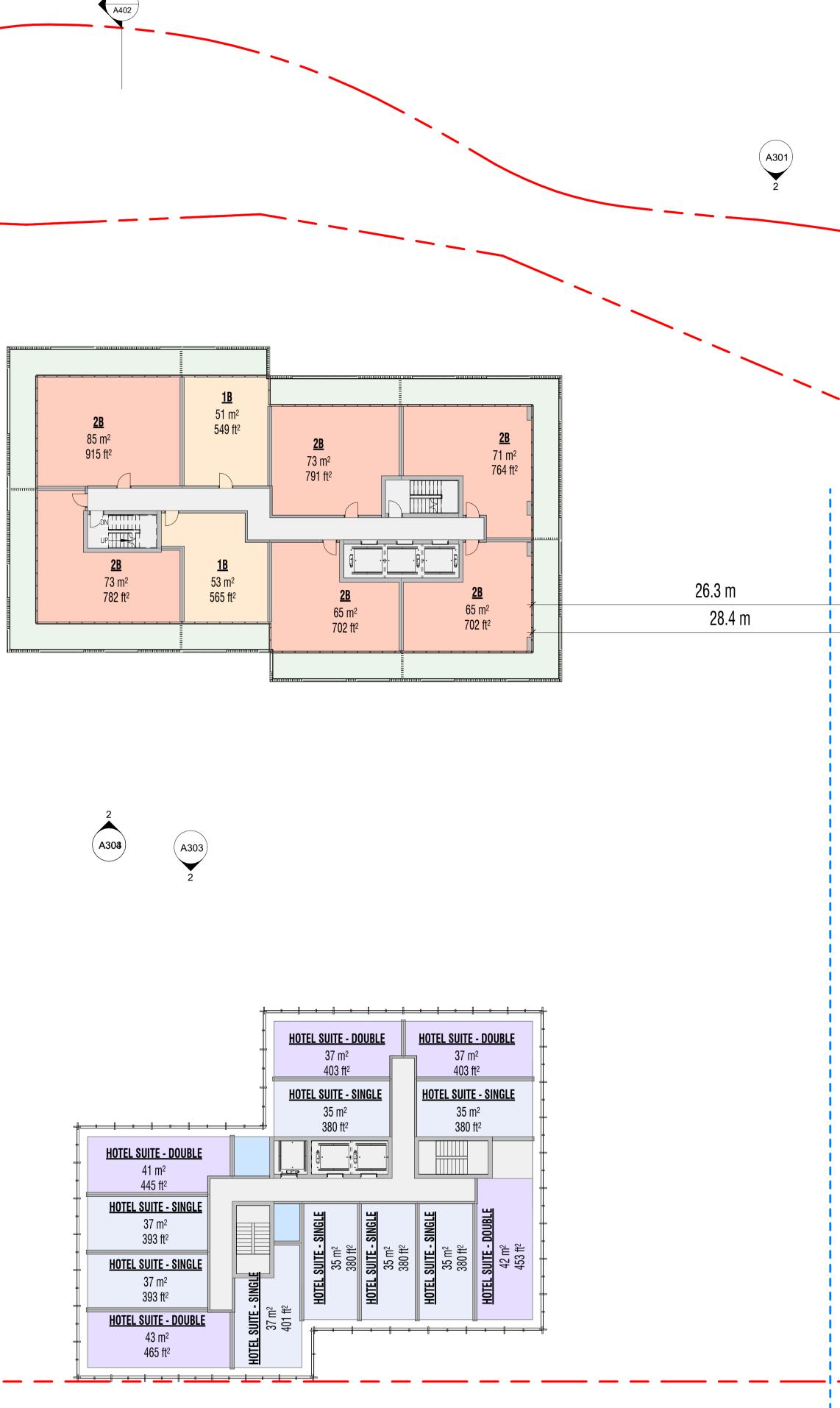
LEVEL 11 **FLOOR PLAN**



 1
 Level 1

 A301
 A212
 1 : 200

Level 12 Floor Plan



A301

2B 93 m ² 999 ft ²	2B 74 m ² 797 ft ²	2B 72 m ² 773 ft ²	
	2B 63 m ² 683 ft ²	2B 64 m ² 685 ft ²	

PHASE 1 NORTH PHASE 2 SOUTH

AREA TYPES 1B 2B BALCONY CORE BOH GREEN ROOF HOTEL SUITE - DOUBLE 4 A401 · ____ _ _ _ 2 (A302) 3 A401

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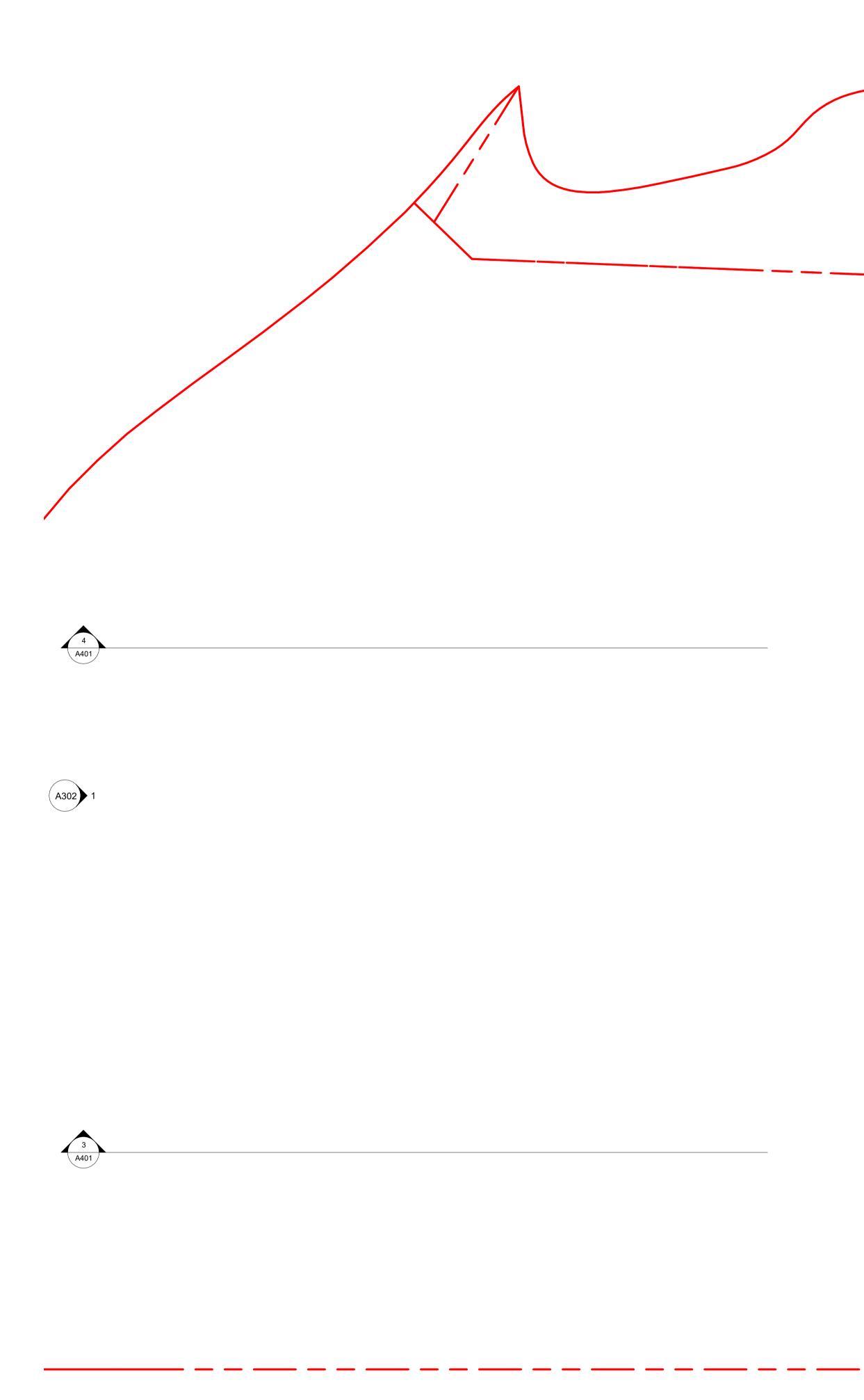
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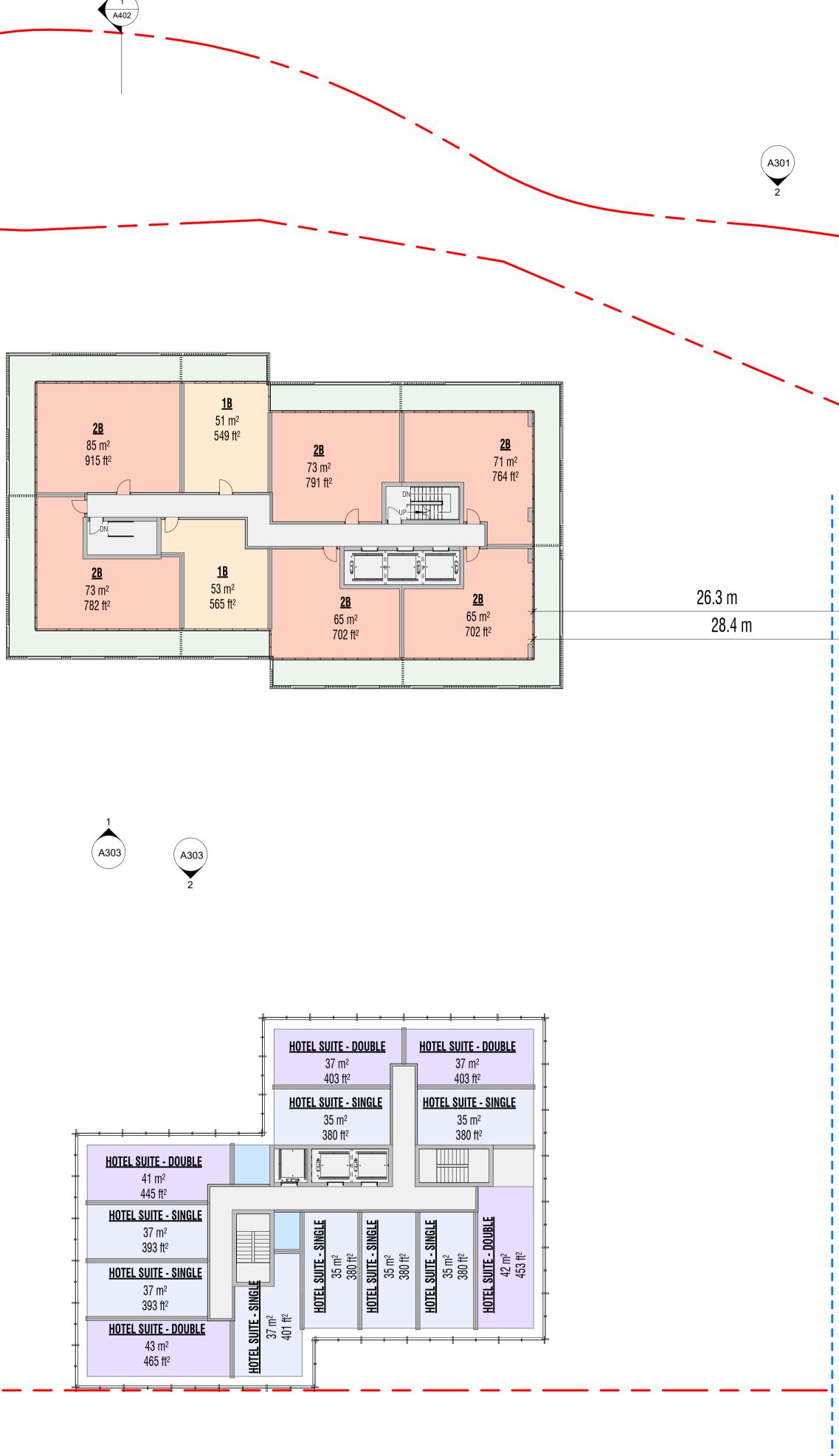
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 APRIL, 26, 2024

LEVEL 12 FLOOR PLAN



 1
 Level 13 Floor Plan

 A301
 A213
 1 : 200



A301

	A402
2B 78 m² 93 m² 999 ft²	
2B 70 m ² 758 ft ²	

 $\left(\begin{array}{c}2\\A402\end{array}\right)$

PHASE 1 NORTH PHASE 2 SOUTH

AREA TYPES 1B 2B BALCONY CORE ВОН HOTEL SUITE - DOUBLE HOTEL SUITE - SINGLE 4 A401 _ _ 2 (A302) 3 A401

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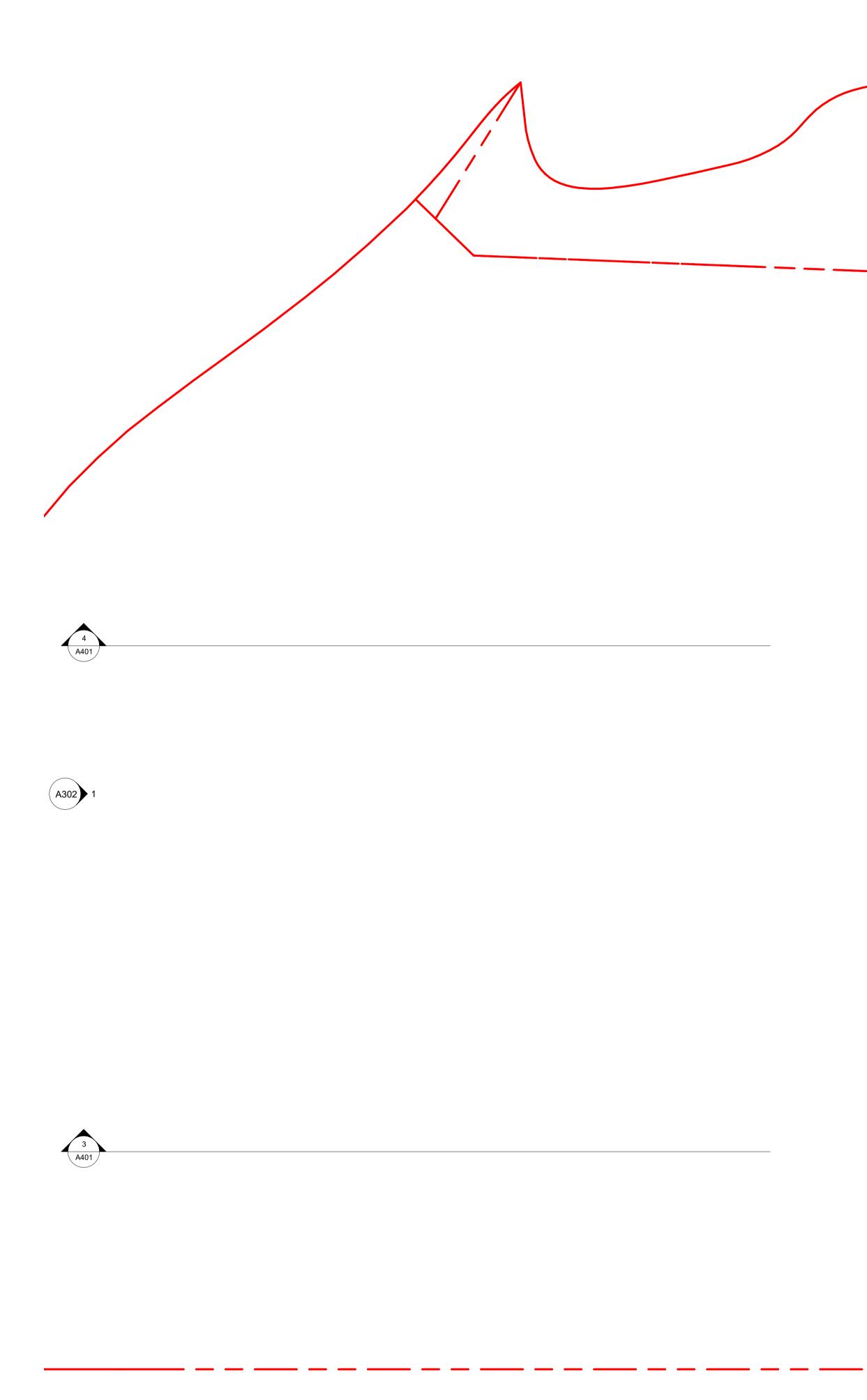
Project North True North

 SCALE
 1 : 200

 PROJECT NO.
 202302

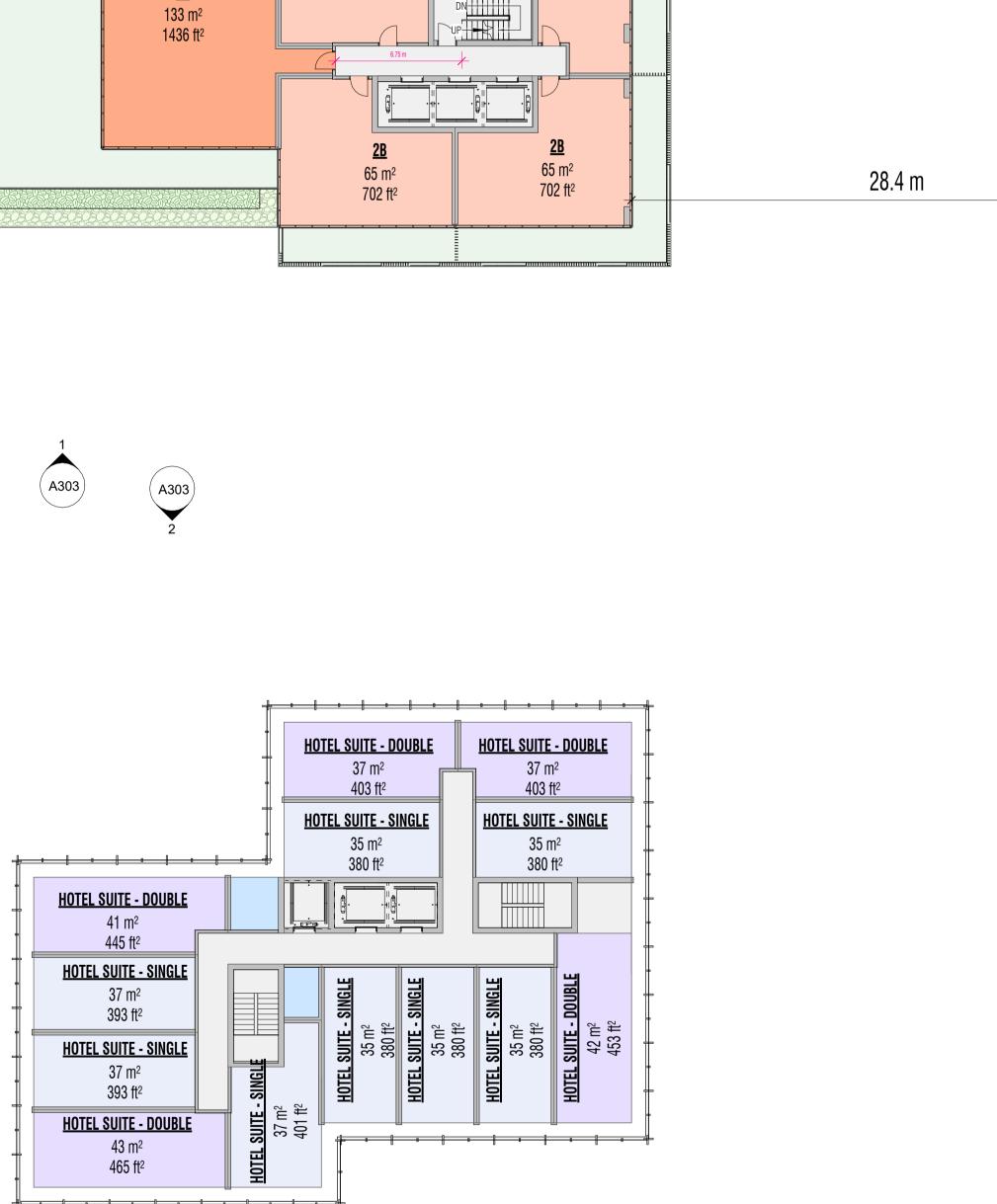
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LEVEL 13 **FLOOR PLAN**



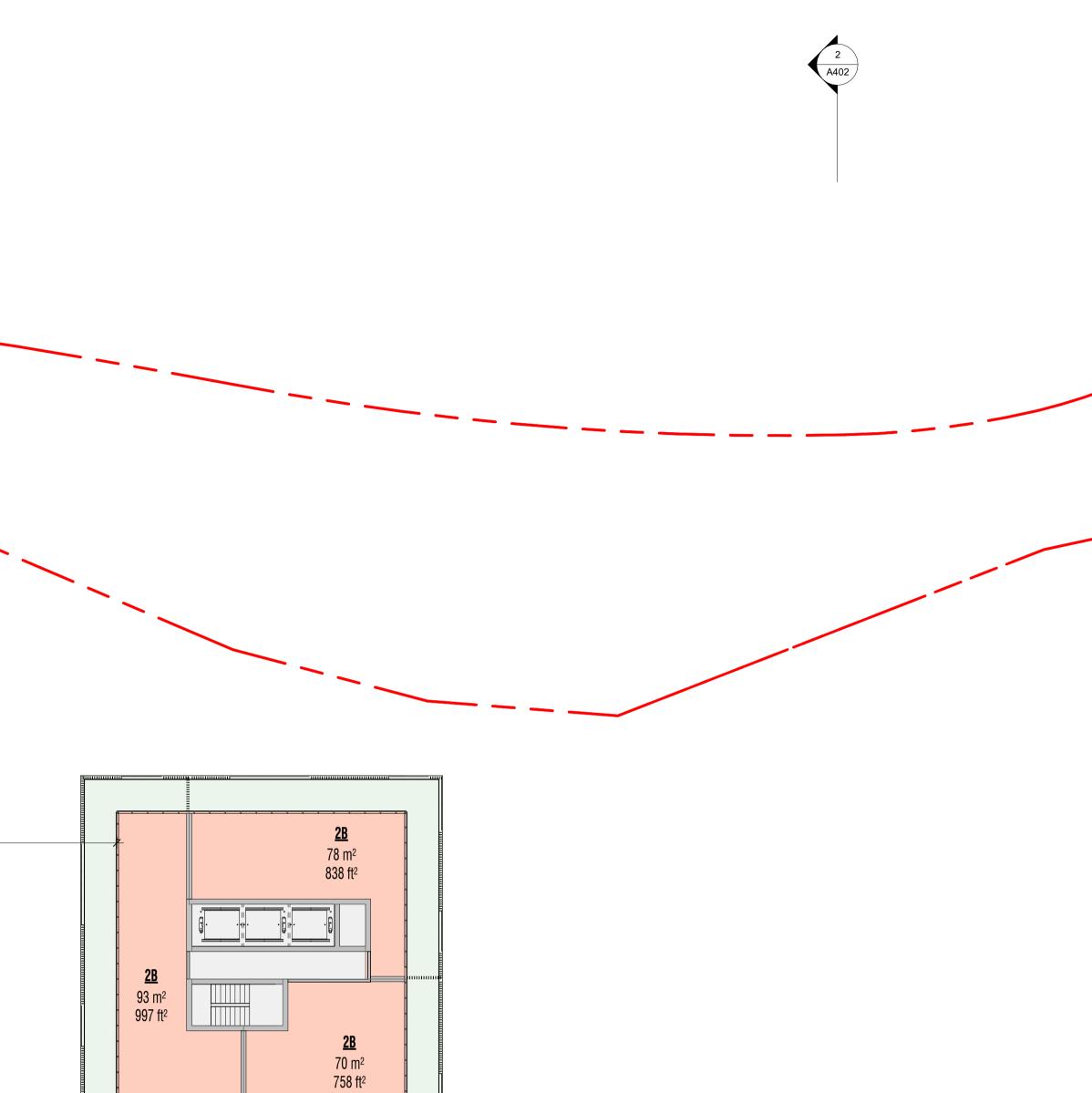
1 Lu A301 A214 1 : 200

Level 14 Floor Plan



A301

<u>2B</u> 71 m² <u>2B</u> 764 ft² 73 m² 791 ft² <u>3B</u> 133 m² 1436 ft²



PHASE 1 NORTH PHASE 2 SOUTH

A30

AREA TYPES 2B 3B BALCONY CORE BOH GREEN ROOF HOTEL SUITE - DOUBLE HOTEL SUITE - SINGLE 4 A401 2 A302 3 A401

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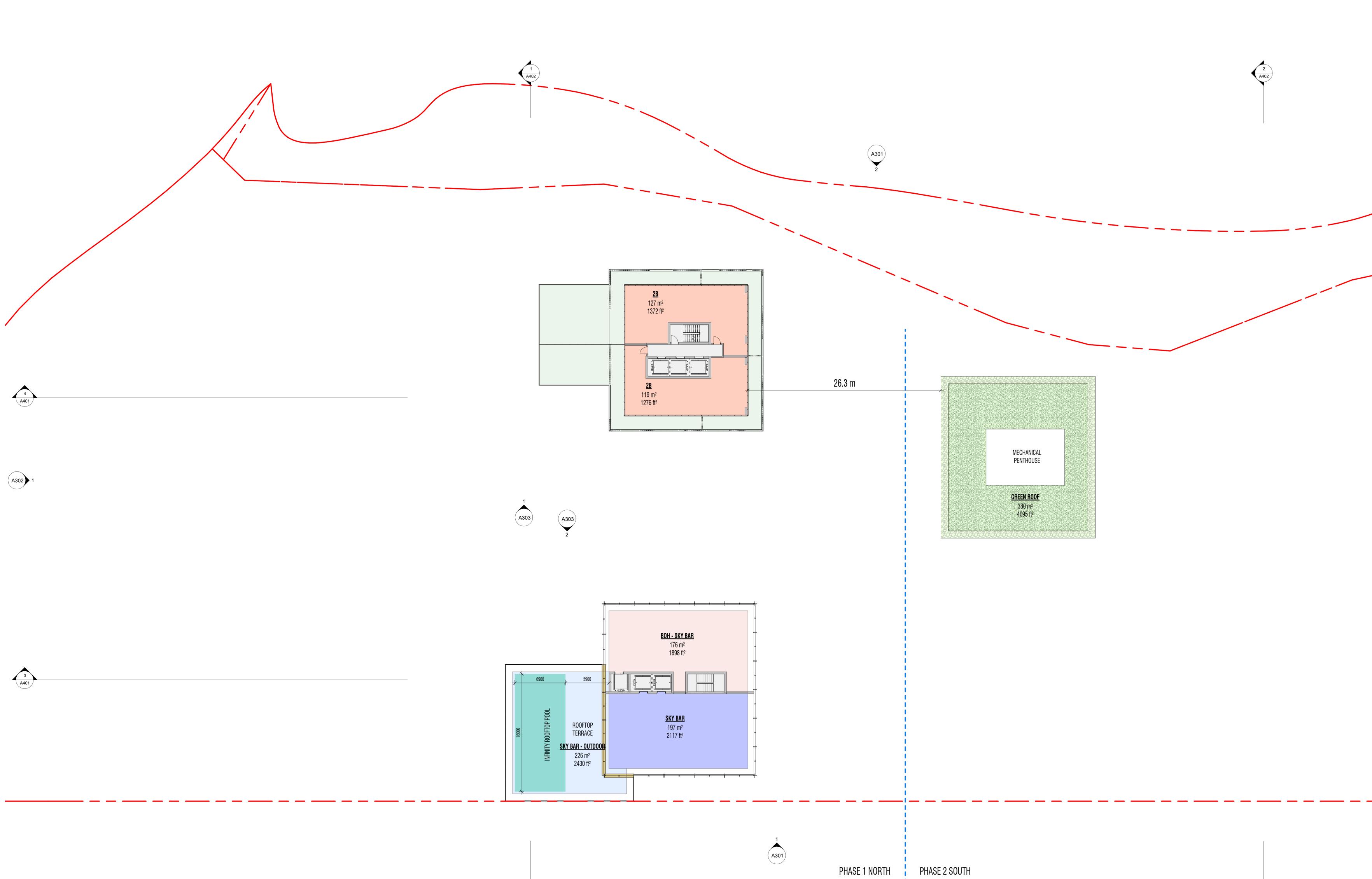
Project North True North

 SCALE
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LEVEL 14 FLOOR PLAN



 1
 Level 1

 A301
 A215
 1 : 200

Level 15 Floor Plan

AREA TYPES 2B BALCONY CORE BOH - SKY BAR GREEN ROOF SKY BAR SKY BAR - OUTDOOR 4 A401 _ _ 2 A302 3 A401

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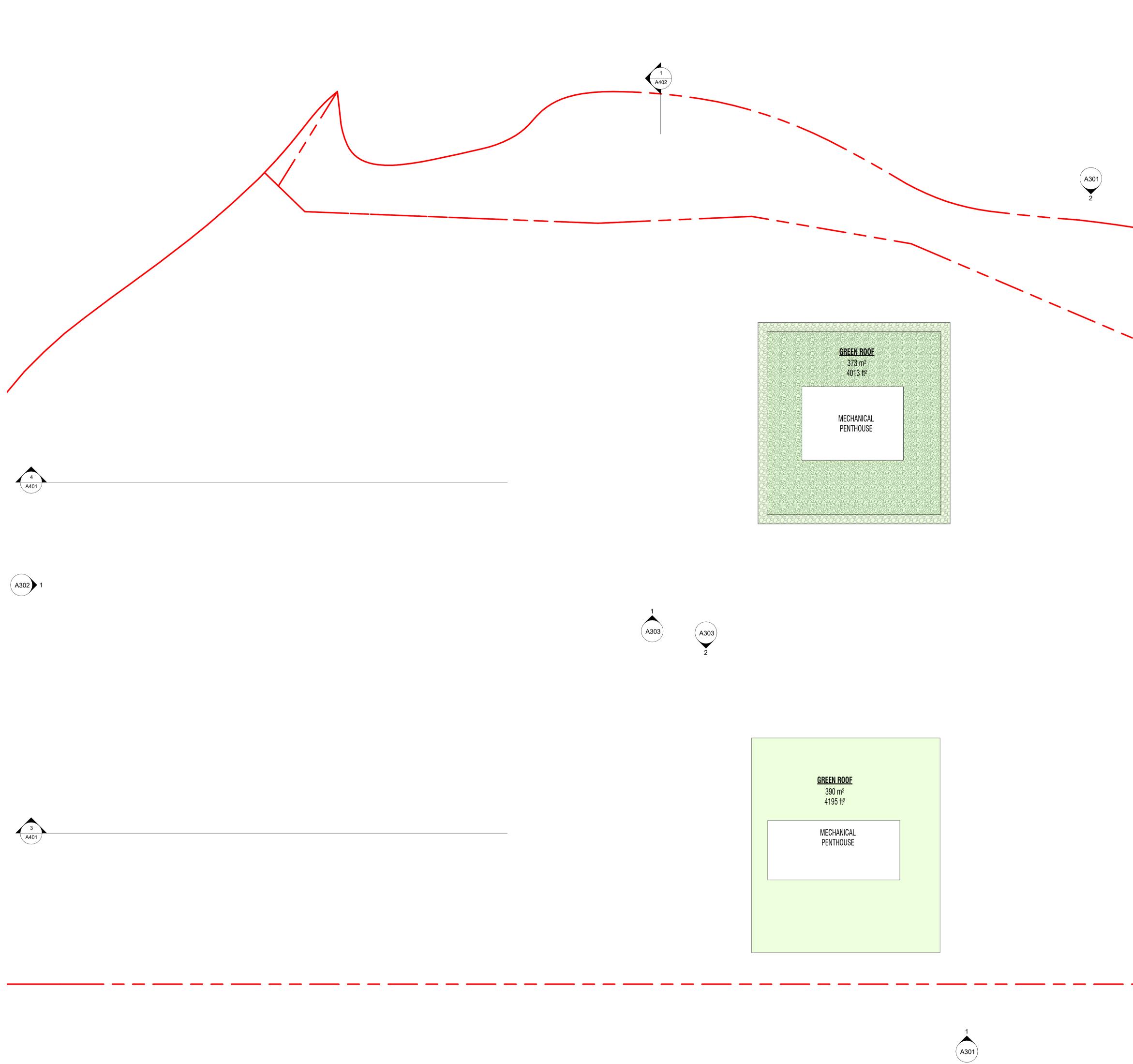
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Project North True North

SCALE 1 : 200 PROJECT NO. 202302 ISSUE DATE APRIL, 26, 2024

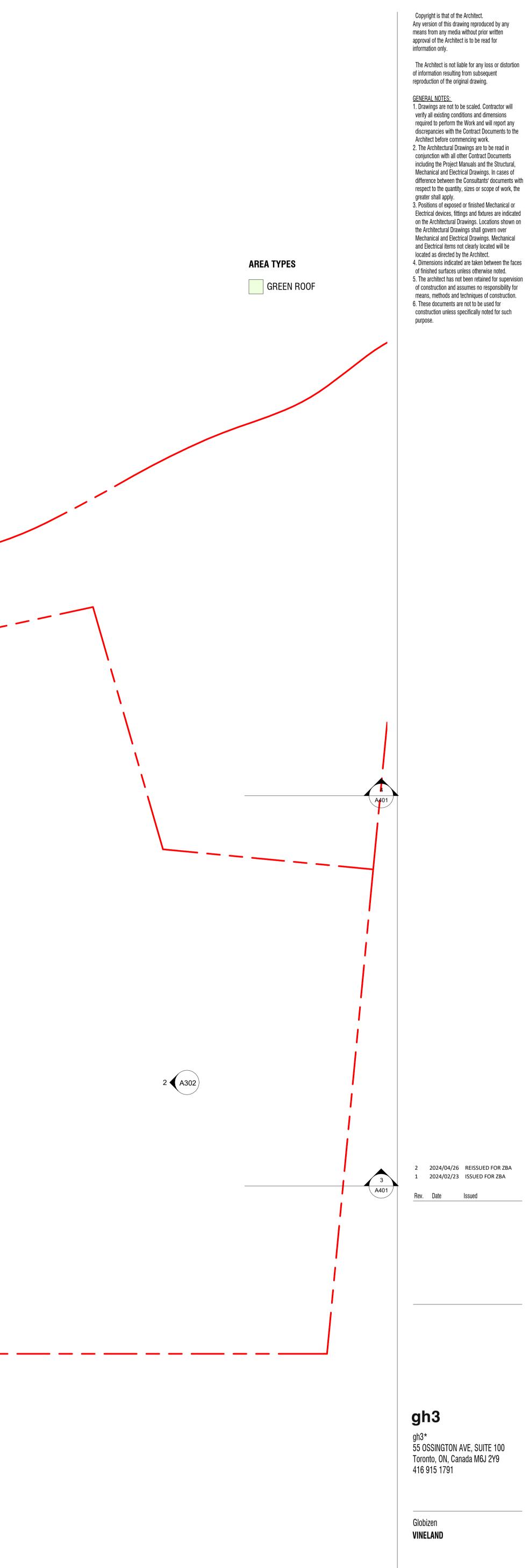
LEVEL 15 **FLOOR PLAN**



 1
 Level 16 Floor Plan

 A301
 A216
 1 : 200

PHASE 1 NORTH	PHASE 2 SOUTH	1
1		



4933 VICTORIA AVENUE NORTH _____

Project North True North

 SCALE
 1 : 200

 PROJECT NO.
 202302

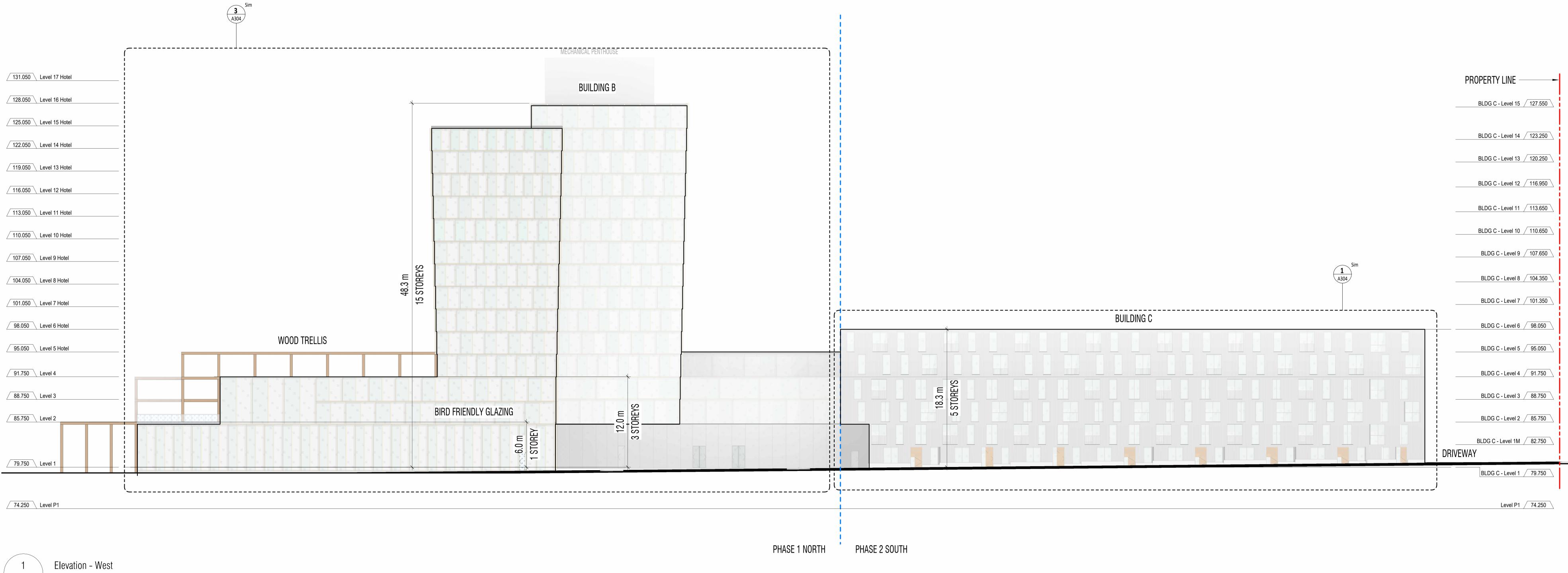
 ISSUE DATE
 APRIL, 26, 2024
 LEVEL 16 ROOF

A216

PLAN

	_				 			
✓ 127.550 \ BLDG C - Level 15					 			
123.250 BLDG C - Level 14								
120.250 BLDG C - Level 13								
✓ 116.950 \ BLDG C - Level 12					 			$\begin{vmatrix} + & + \\ + $
113.650 BLDG C - Level 11								
110.650 BLDG C - Level 10							+++++++++++++++++++++++++++++++++++++++	
107.650 BLDG C - Level 9						84 - 18 - 1	6 8 8	
				\				
104.350 BLDG C - Level 8								
101.350 BLDG C - Level 7		L						
							EYS	
98.050 BLDG C - Level 6						37.2 m	11 STOREYS	
						37	1 S	
95.050 BLDG C - Level 5			Ε	EVS-				
		S	27.9 m	STOREYS				
91.750 BLDG C - Level 4		REY						
88.750 BLDG C - Level 3	-21.6 m	STOREYS		<u>6. 8. 8.</u> 8				
		9						
85.750 BLDG C - Level 2							BI	RD FRIENDLY GLAZING
82.750 BLDG C - Level 1M								
				6 .6 . H . A		71 71		
79.750 BLDG C - Level 1				<u>↓</u>				
	•							





A201 A301 1 : 200



PROPERT	ry i inf					
	, , LIIVL				Level 18	136.550
					Level 17	133.550
					Level 16	130.550
 					Level 15	126.550
					Level 14	123.250
					Level 13	119.950
					Level 12	/ 116.950 \
					Level 11	113.950
					Level 10	110.650
					Level 9	107.350
	2 A304				Level 8	104.350
					Level 7	101.350
	+				Level 6	98.050
					Level 5	94.750
	ΥS				Level 4	91.750
 18.3 m	STORE				Level 3	88.750
	ъ.				Level 2	85.750
			79000			
		_	•	$\overline{}$	Level 1	/ 79.750 \
 Ĵ					$\overline{}$	

NEIGHBOURING HOUSE

55 OSSINGTON AVE, SUITE 100

Toronto, ON, Canada M6J 2Y9

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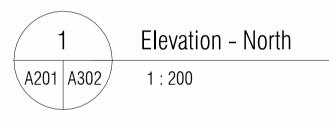
PROJECT NO. 202302

ISSUE DATE APRIL, 26, 2024

EAST & WEST ELEVATIONS

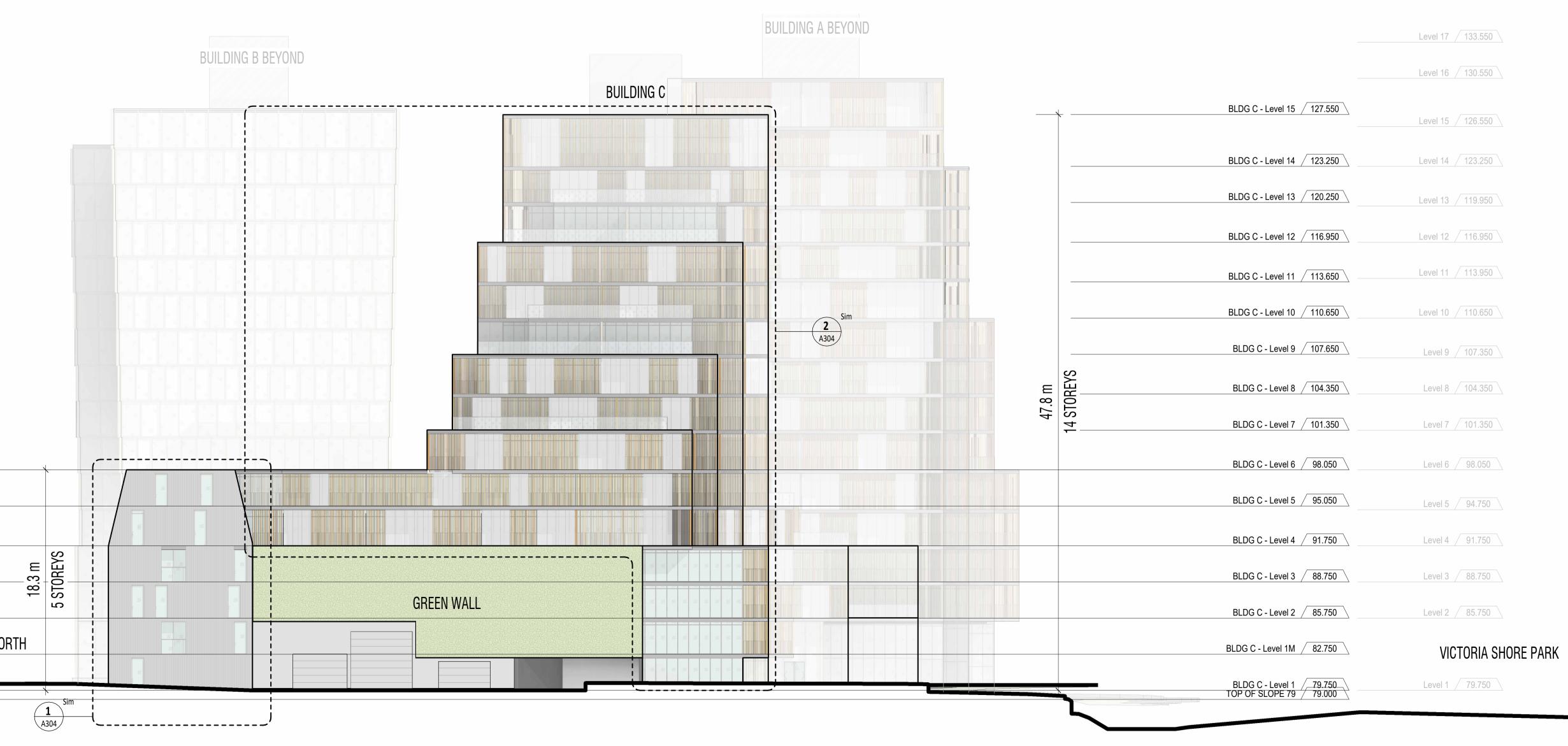
133.550 Level 17						
130.550 Level 16		.				
126.550 Level 15						
123.250 Level 14			、			
✓ 119.950 \ Level 13						
✓ 116.950 \ Level 12						
✓ 113.950 \ Level 11						
110.650 Level 10						k
✓ 107.350 \ Level 9		S-				
✓ 104.350 \ Level 8	50.8 m	15 STOREYS		Ś		
101.350 Level 7		15	.3.5 m	13 STOREYS		
98.050 Level 6			4	13.0		
94.750 Level 5					30.9 m	9 STOREYS
91.750 Level 4						6
88.750 Level 3						
85.750 Level 2						
79.750 Level 1	79.0	000 \ -	TOP OF	SLOF	PE 79	x

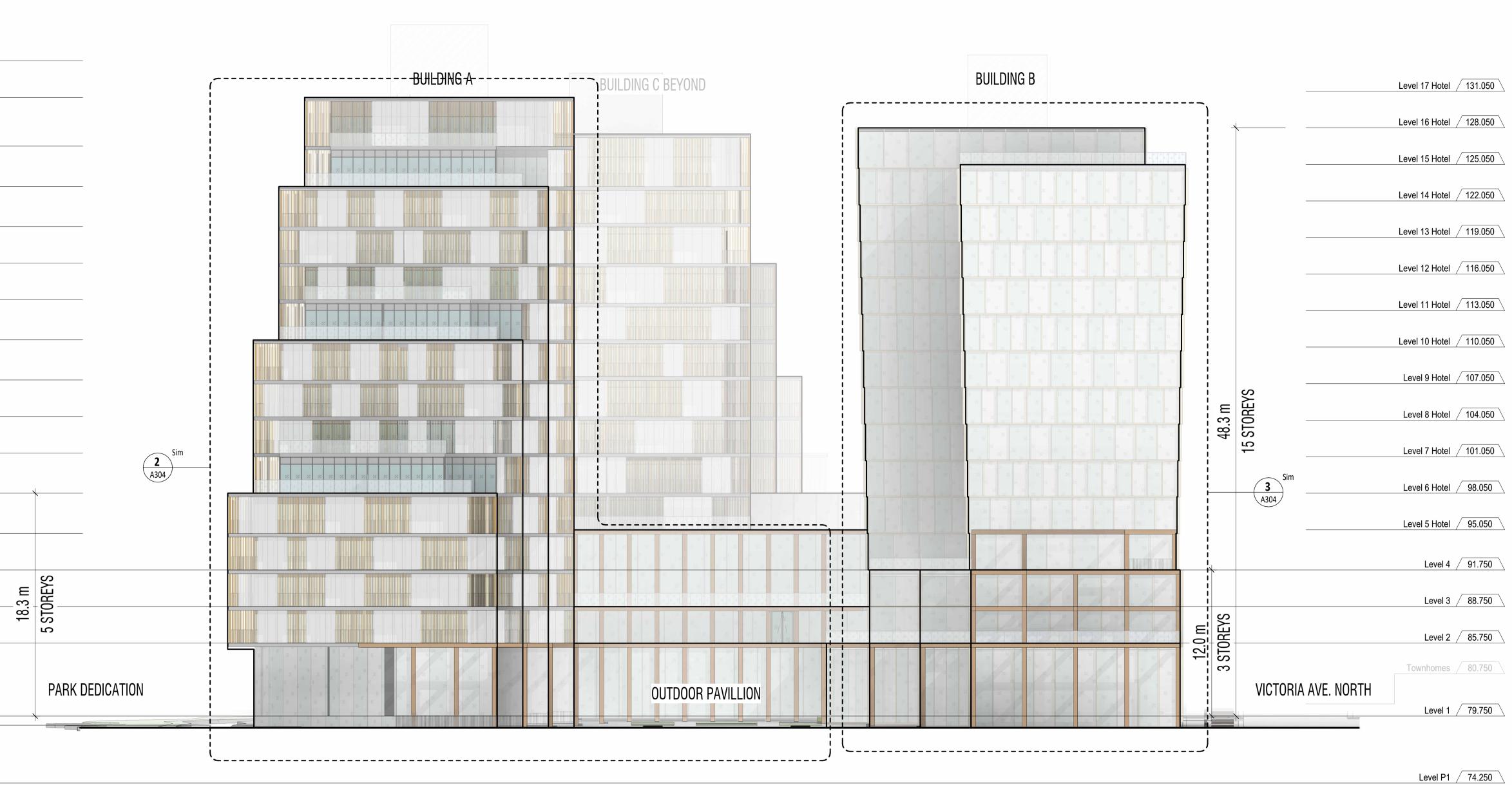
74.250 Level P1



98.050 BLDG C - Level 6	
95.050 BLDG C - Level 5	
91.750 BLDG C - Level 4	
88.750 BLDG C - Level 3	
85.750 BLDG C - Level 2	
82.750 BLDG C - Level 1M	VICTORIA AVE. NOF
79.750 BLDG C - Level 1 79.000 TOP OF SLOPE 79	







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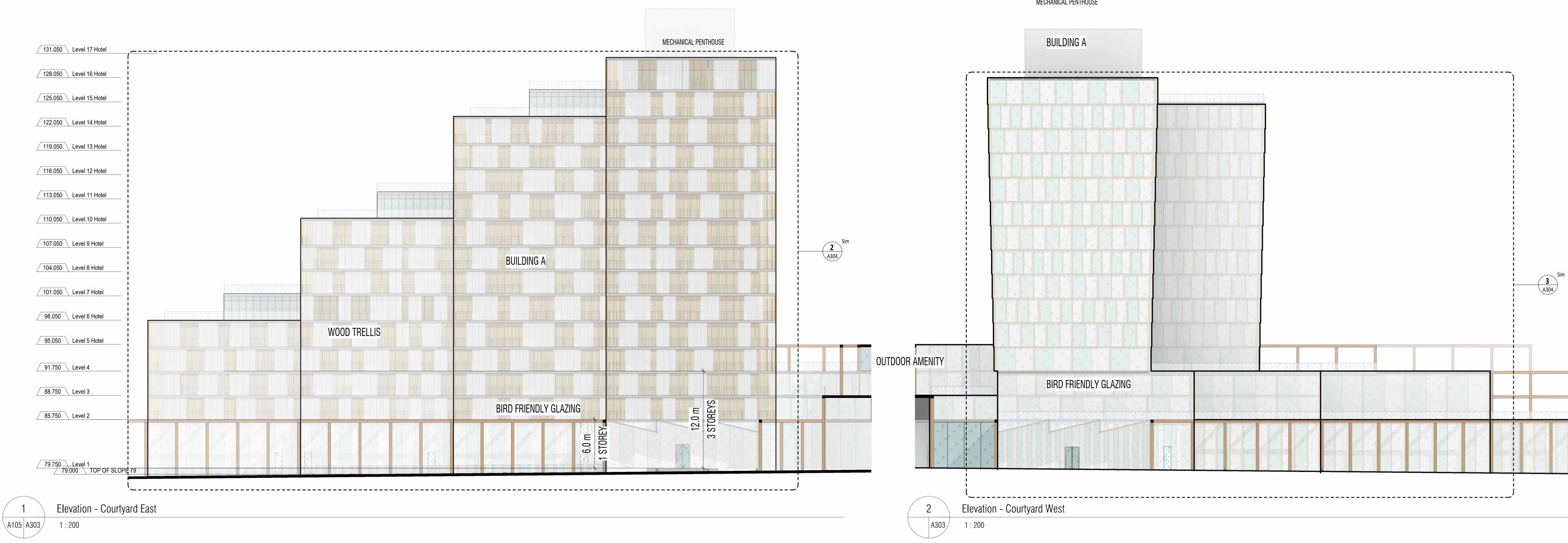
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NORTH & SOUTH ELEVATIONS A302



MECHANICAL PENTHOUSE

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 Level 18 / 136.550
 Level 17 133.550
 Level 16 / 130.550
 Level 15 / 126.550
 Level 14 / 123.250
 Level 13 / 119.950
 Level 12 / 116.950
 Level 11 / 113.950
 Level 10 / 110.650
 Level 9 107.350
 Level 8 / 104.350
 Level 7 / 101.350
 Level 6 98.050
 Level 5 / 94.750
 Level 4 91.750
 Level 3 88.750
 Level 2 85.750
 Level 1 79.750

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6.0 m STOREY

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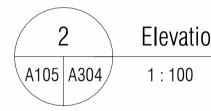
EAST & WEST COURTYARD ELEVATION A303

MATERIAL TAG	MATERIAL DESCRIPTION
GL-01	GLAZING - VISION GLASS w/ BIRD FRIENDLY FRIT
GL-02	GLAZING - FROSTED GLASS SPANDREL PANEL
GL-03	GLAZING - FROSTED GLASS SPANDREL DOOR PANEL FIRE RATED
M-01	MULLION - CHAMPAIGN GOLD METAL MULLION CAP
M-02	MULLION - DARK GREY METAL MULLION CAP
M-03	RAILING - WARM BROWN WOOD PATTERNED METAL PICKET RAILING
M-04	RAILING - DARK GREY METAL ROD PICKET RAILING
M-05	CLADDING - PEARL WHITE CORRUGATED METAL SIDING
M-06	CLADDING - WARM BROWN WOOD PATTERNED METAL DOOR PANEL
S-01	STONE - DOVE WHITE GRANITE PANELS, CHISEL FINISHED
W-01	WOOD - MASS TIMBER BEAM & POST

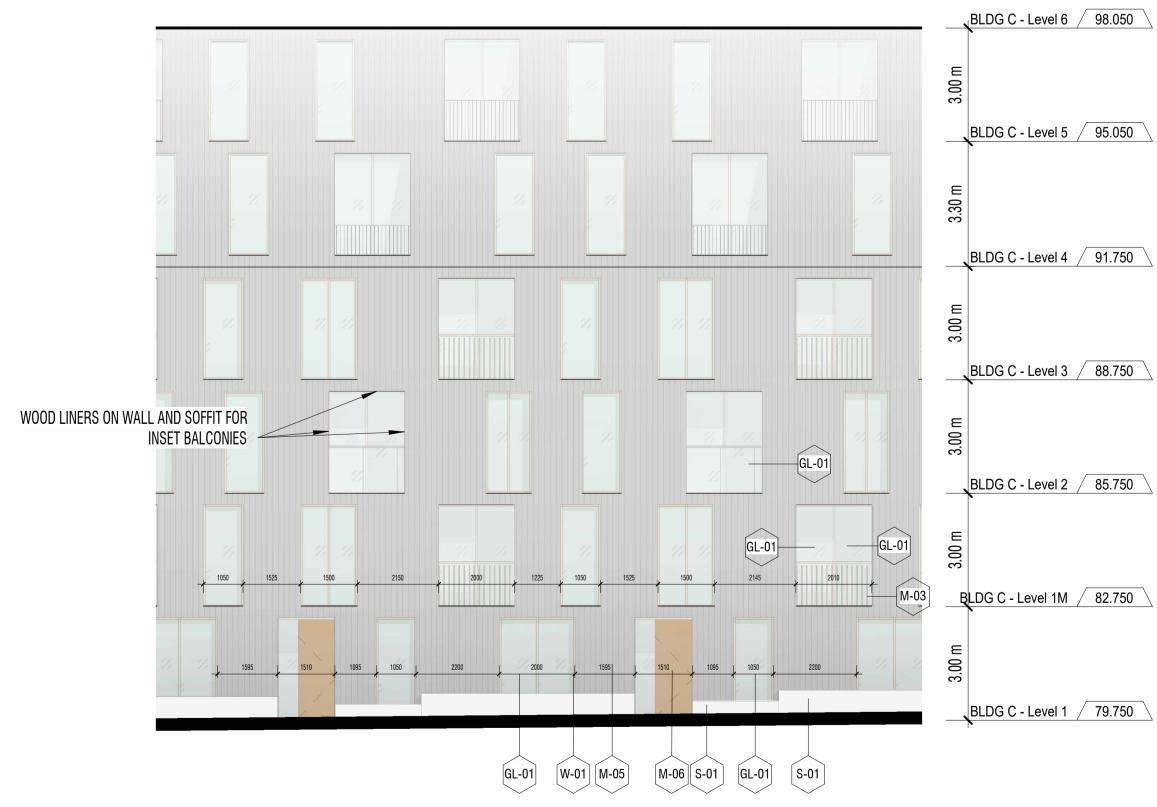




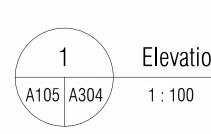




Elevation - TOWER & PODIUM TYP











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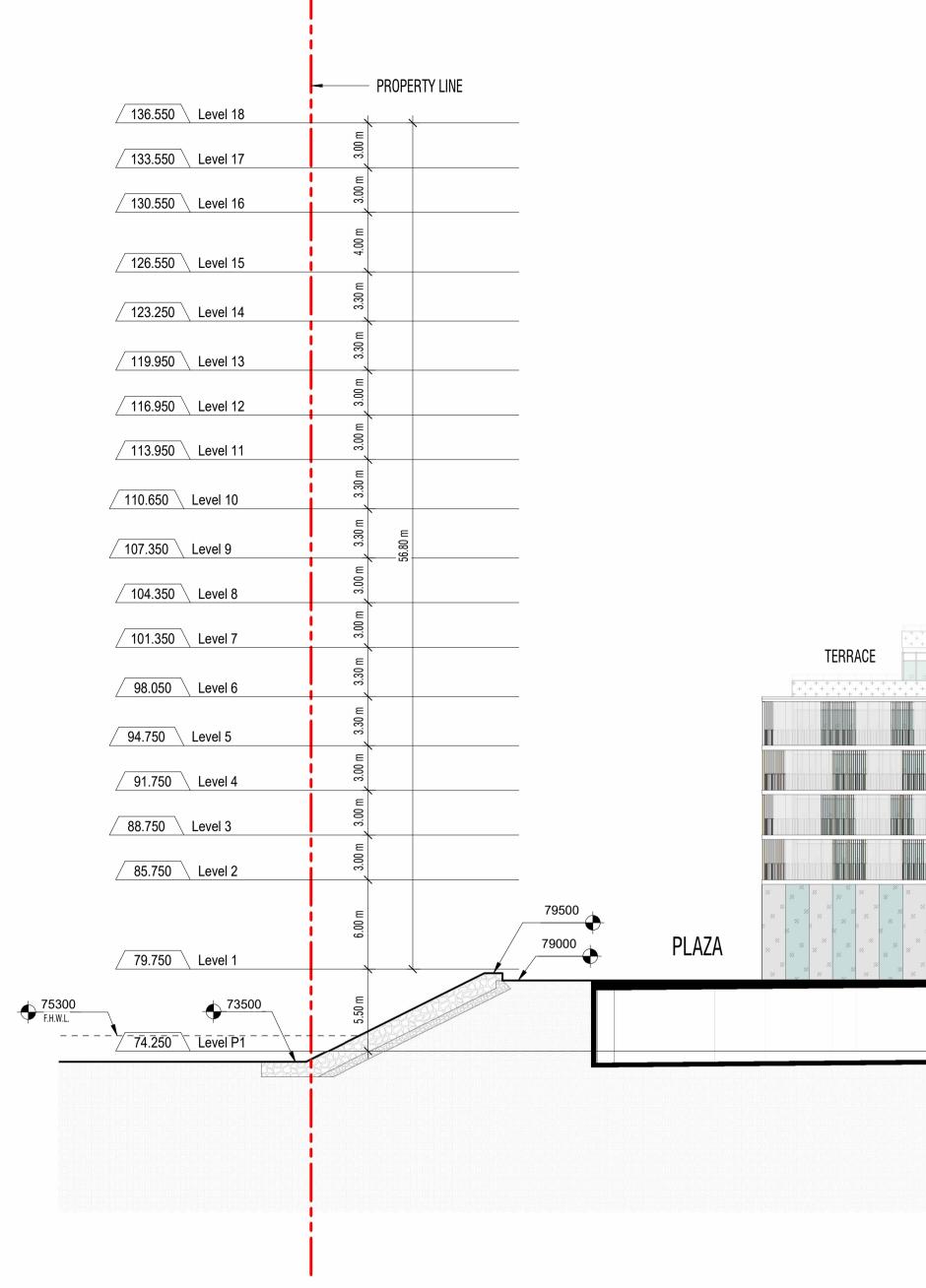
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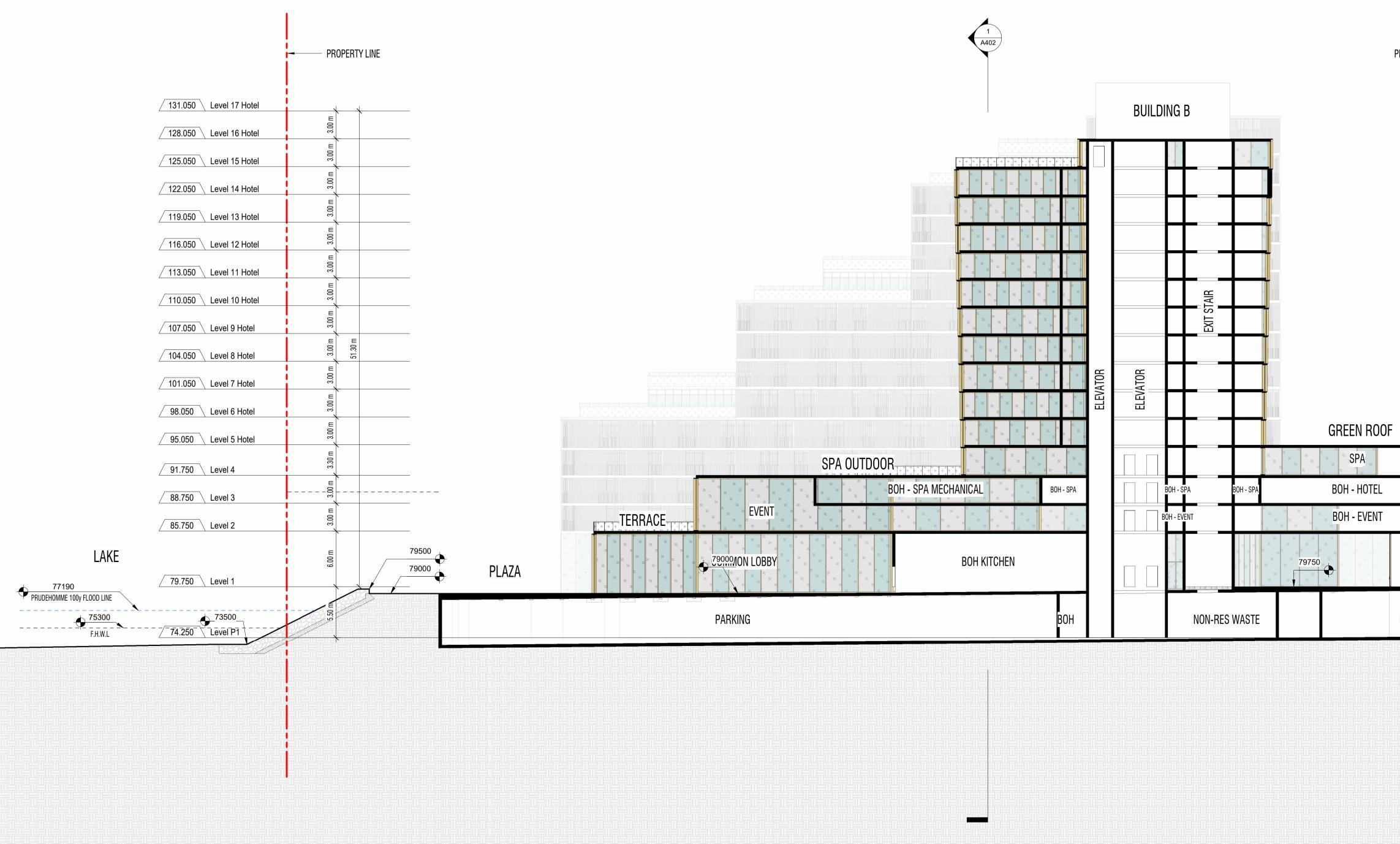
ENLARGED **ELEVATIONS** -TYPICAL A304





Site Section North South1



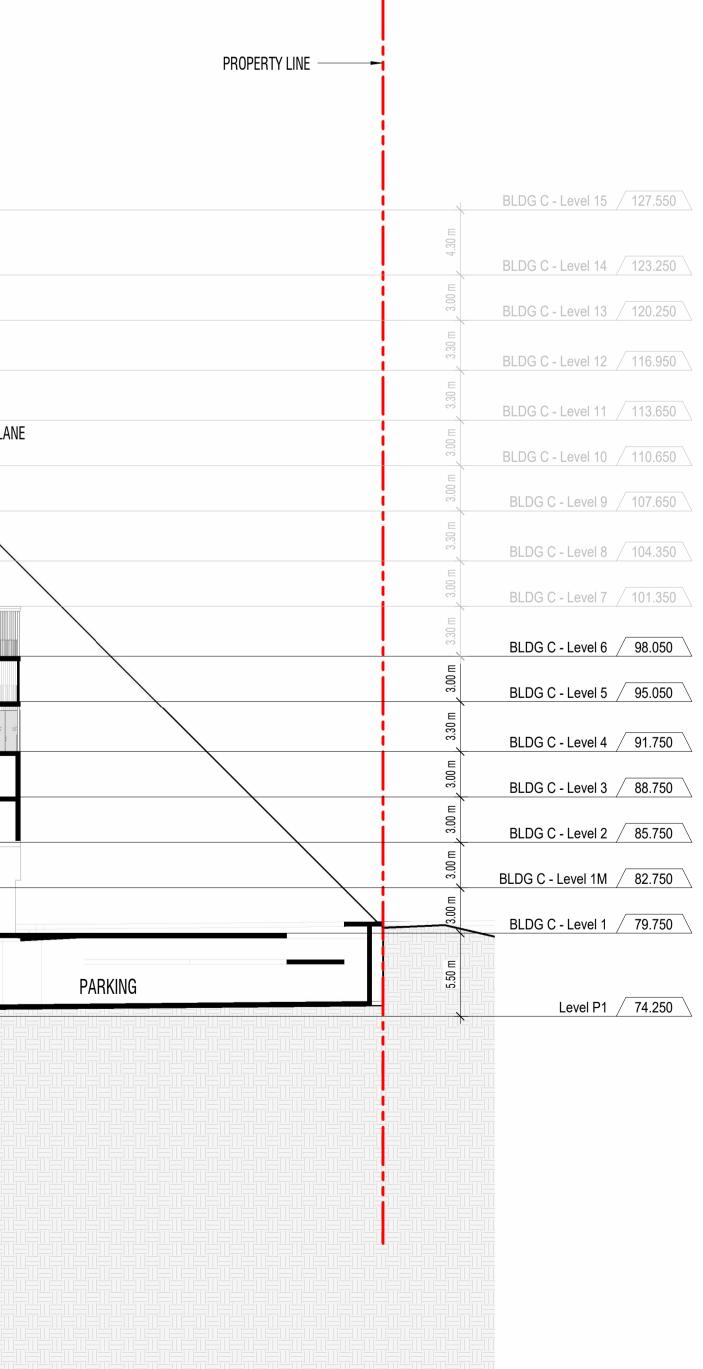


A105 A401 1 : 250

Site Section North South

		28.4 m	,		
		PHASE 1 NORTH PHASE 2 SOUTH			PROPERTY LINE
	BUILDING A		UILDING C		
TERRACE	RESIDENTIAL UNIT			BLD	DG C - Level 15 / 127.550 \
TERRACE	RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT	Image: State of the state	E	DG C - Level 14 / 123.250
RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT		RESIDENTIAL UNIT CONCENTRACE	Egg	DG C - Level 13 / 120.250 DG C - Level 12 / 116.950
TERRACE RESIDENTIAL UNIT RESIDENTIAL UNIT TERRACE RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT			ANGULAR PLANE	DG C - Level 11 / 113.650
************************************	RESIDENTIAL UNIT RESIDENTIAL UNIT	Image: Second	Image: Second and the second and th		DG C - Level 10 110.650 _DG C - Level 9 107.650
BALCONY * * * * * * * * * * * * * * * * * * *	RESIDENTIAL UNIT RESIDENTIAL UNIT				LDG C - Level 8 / 104.350
RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL U			_DG C - Level 7 / 101.350
RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT	PATIO	Image: Section of the section of th		DG C - Level 6 98.050 DG & - Level 5 95.050
	RESIDENTIAL UNIT RESIDENTIAL UNIT	AMENITY OUTDOOR	Image: Solution of the second seco	GREEN ROOF	LDG C - Level 4 91.750
	RESIDENTIAL UNIT RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDENTIAL UNIT		L UNIT * * * * RESIDENTIAL UNIT * * * * RESIDENTIAL UNIT * * * B	_DG C - Level 3 88,750
BALCONY BALCONY Residential UNIT <th>AMENITY INDOOR</th> <th>RESIDENTIAL UNIT RESIDENTIAL UNIT RESIDE</th> <th></th> <th>L UNIT & A A A A A A A A A A A A A A A A A A</th> <th>DG C - Level 2 85.750</th>	AMENITY INDOOR	RESIDENTIAL UNIT RESIDE		L UNIT & A A A A A A A A A A A A A A A A A A	DG C - Level 2 85.750
PARKING	ELECTRICAL A	ECTRICAL B MECHANICAL MECHANICAL		ERS SWM	<u>DG C Level 1 70.750</u> Level P1 74.250

PHASE 1 NORTH	PHASE 2 S		BUILDING C BI	EYOND			2 A402				
					BII					ANGULA	AR PLANE
-	RESIDENTIAL UNI XOOQUI XOQUII XLINI XLINI	1	RESIDENTIAL UNIT	RESIDENTIAL UNIT	RESIDENTIAL UNIT	RESIDENTIAL UNIT	RESIDENTIAL UNIT	RESIDENTIAL UNIT RESIDENTIAL UNIT	CORRIDOR	RESIDENTIAL UNIT	
	AMENIT	STAIR	18.30 m		Parking Parking			<u> </u>	STAIR	PARKING	
RETAIL		EXIT :			PARKING PARKING			ELEVATOR	EXIT S1	LOADING	
PARKING					PARKING						



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 PROJECT NO.
 202302

 ISSUE DATE
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SITE SECTIONS -NORTH SOUTH

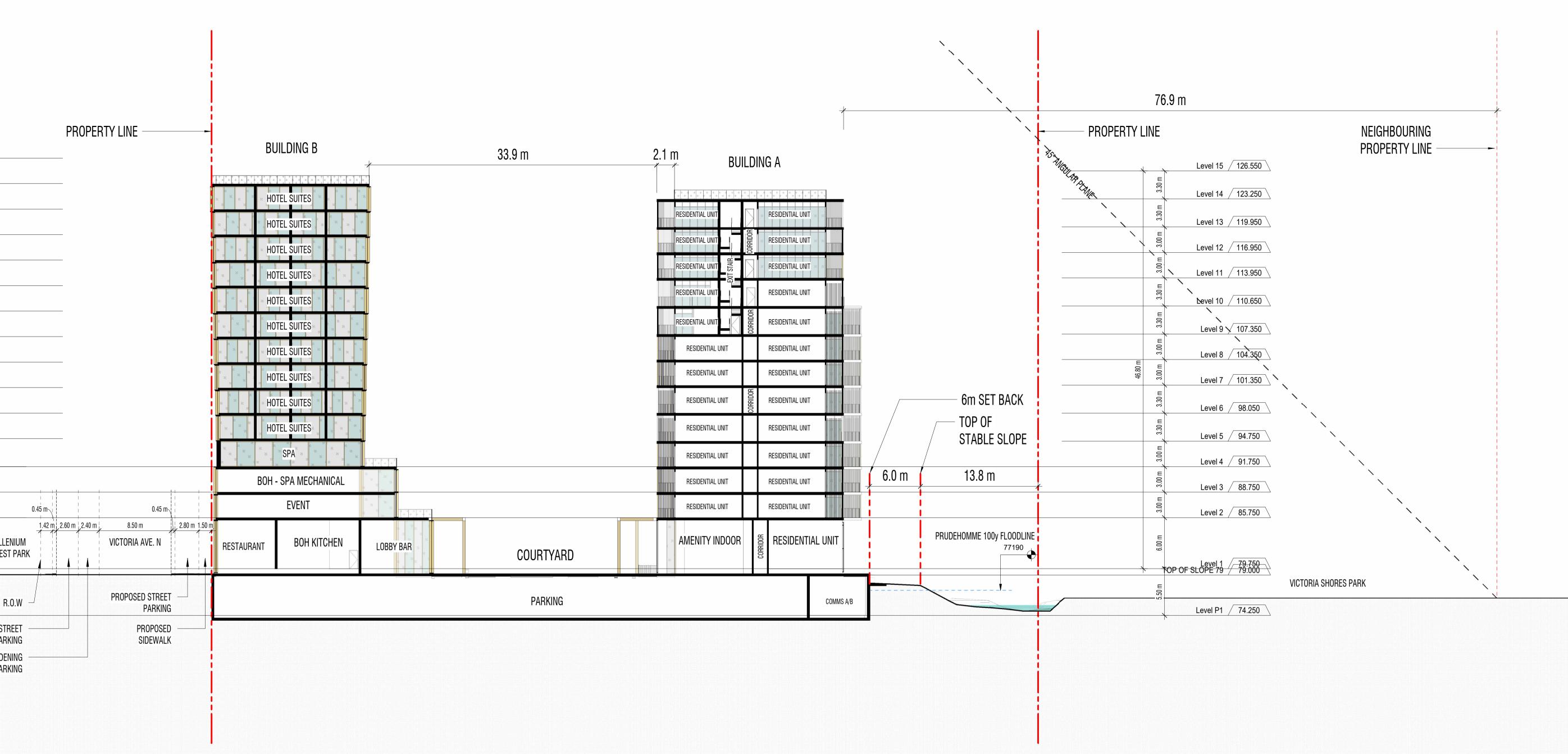
128.050 Level 16 Hotel			
125.050 Level 15 Hotel	3.00 m		
122.050 Level 14 Hotel	3.00 m		
119.050 Level 13 Hotel	3.00 m		
✓ 116.050 \ Level 12 Hotel	3.00 m		
113.050 Level 11 Hotel	3.00 m		
110.050 Level 10 Hotel	3.00 m		
107.050 Level 9 Hotel	3.00 m		
104.050 Level 8 Hotel	3.00 m	E	
101.050 Level 7 Hotel	3.00 m	48.30 m	
98.050 Level 6 Hotel	3.00 m		
95.050 Level 5 Hotel	3.00 m		
91.750 Level 4	3.30 m		
88.750 Level 3	3.00 m		
85.750 Level 2	3.00 m		
	E		
79.750 Level 1	6.00 m		MILLE FORES
79.750 Level 1 79.000 TC	OP OF St)PE	79
	5.50 m		R
∕ 74.250 \ Level P1		Ū.	
		PROP	OSED STI Par
	POTENTI		AD WIDF

Potential road widening For street parking

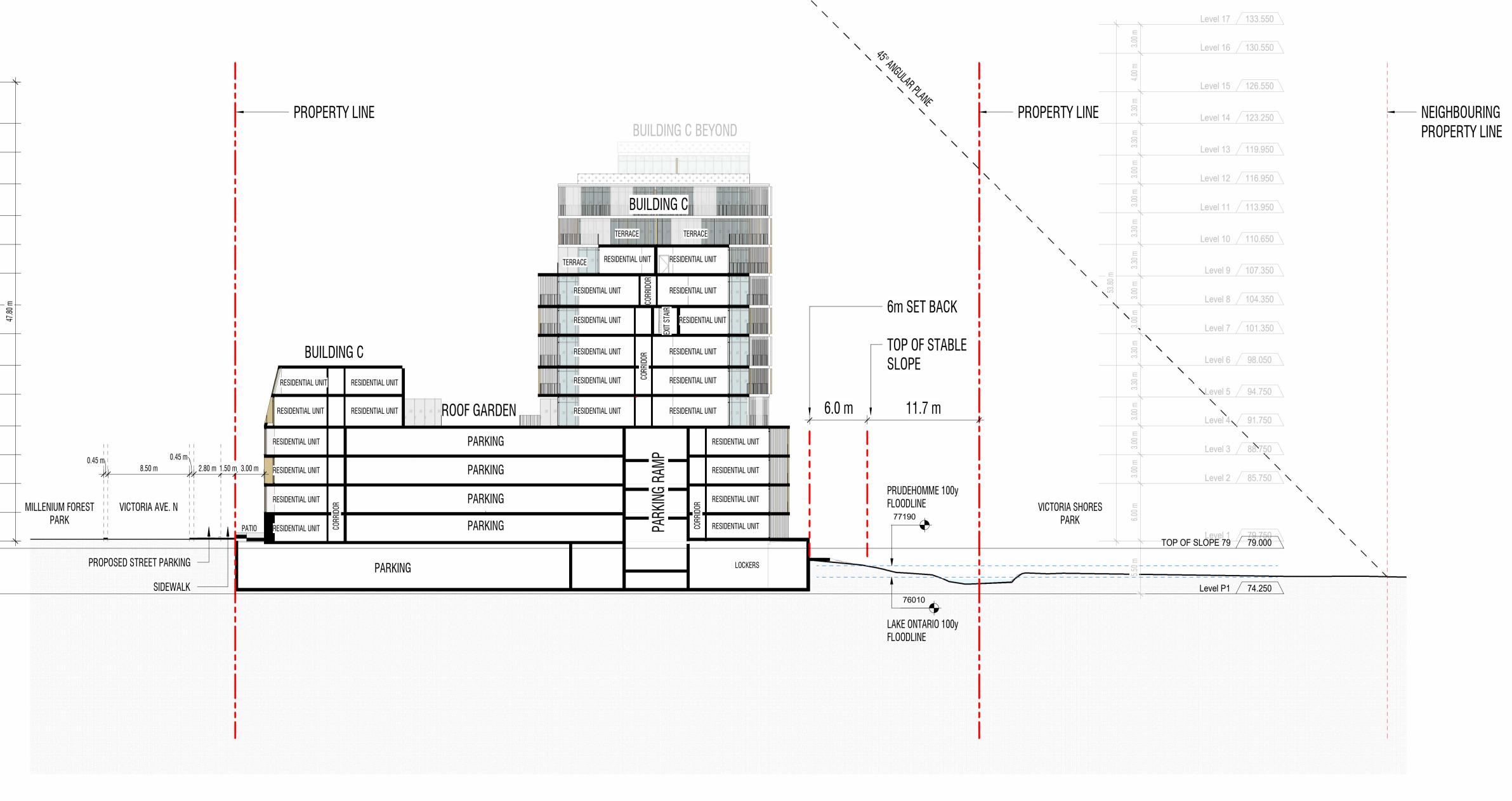
_____ A104 A402 1 : 250

127.550 BLDG C - Level 15	
✓ 123.250 BLDG C - Level 14	4.30 m
120.250 BLDG C - Level 13	3.00 m
116.950 BLDG C - Level 12	3.30 m
113.650 BLDG C - Level 11	3.30 m
110.650 BLDG C - Level 10	a.00 m
107.650 BLDG C - Level 9	3.00 m
104.350 BLDG C - Level 8	3.30 m
101.350 BLDG C - Level 7	3.00 m
98.050 BLDG C - Level 6	3.30 m
95.050 BLDG C - Level 5	3.00 m
91.750 BLDG C - Level 4	3.30 m
88.750 BLDG C - Level 3	3.00 m
85.750 BLDG C - Level 2	3.00 m
82.750 BLDG C - Level 1M	3.00 m
79.750 BLDG C - Level 1 79.000 TOP OF SLOPE 79	3.00 m
	5.50 m
∕ 74.250 \ Level P1	





Site Section - East West BLDG A + B



Site Section - East West BLDG C

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3. Positions of exposed or finished Mechanical or Electrical devices, fittings and fixtures are indicated on the Architectural Drawings. Locations shown on the Architectural Drawings shall govern over Mechanical and Electrical Drawings. Mechanical and Electrical items not clearly located will be located as directed by the Architect. 4. Dimensions indicated are taken between the faces of finished surfaces unless otherwise noted. 5. The architect has not been retained for supervision

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SITE SECTIONS -EAST WEST